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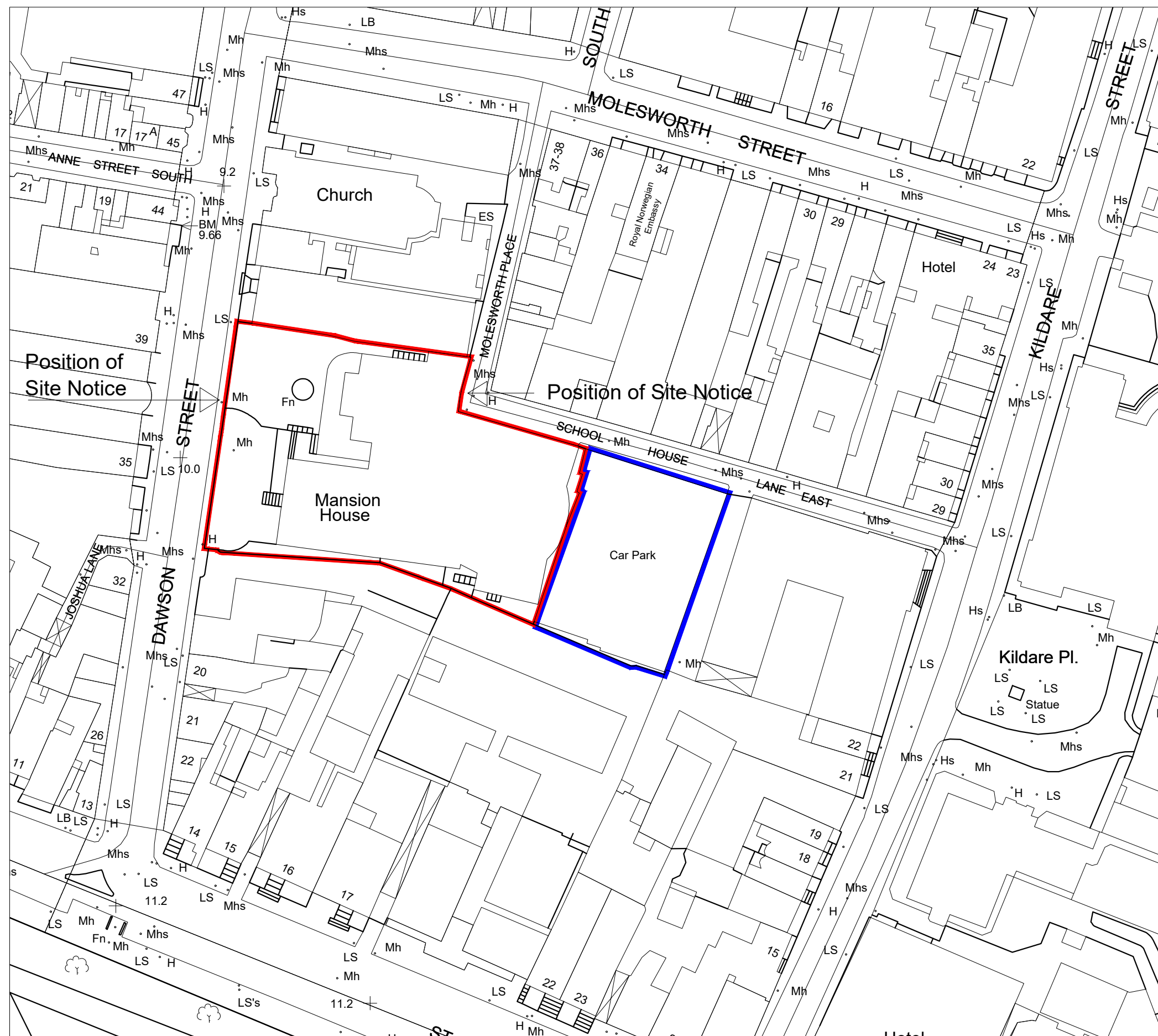
PART 8

Ordnance Survey Ireland
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 Ordnance Survey Ireland
 / Government of Ireland

Position of Site Notices
 Indicated by Arrows

Site Location Outlined
 in Red

Additional Lands in
 Ownership of the Applicant
 Outlined in Blue



NO.: DATE: REVISION:

BLACKWOOD ASSOCIATES ARCHITECTS

9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590



e-mail: studio@blackwood.ie

PROJECT:
 Universal Access Project at
 The Mansion House,
 Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL,
 CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
 SITE LOCATION MAP

PROJECT STAGE:
 PART 8 PLANNING APPLICATION

PROJECT NO.: 551-20 DRAWN BY: MK / SM / AJ

SHEET SIZE: A3 CHECKED BY: KB

SCALE: 1:1000 DATE: Nov. '23

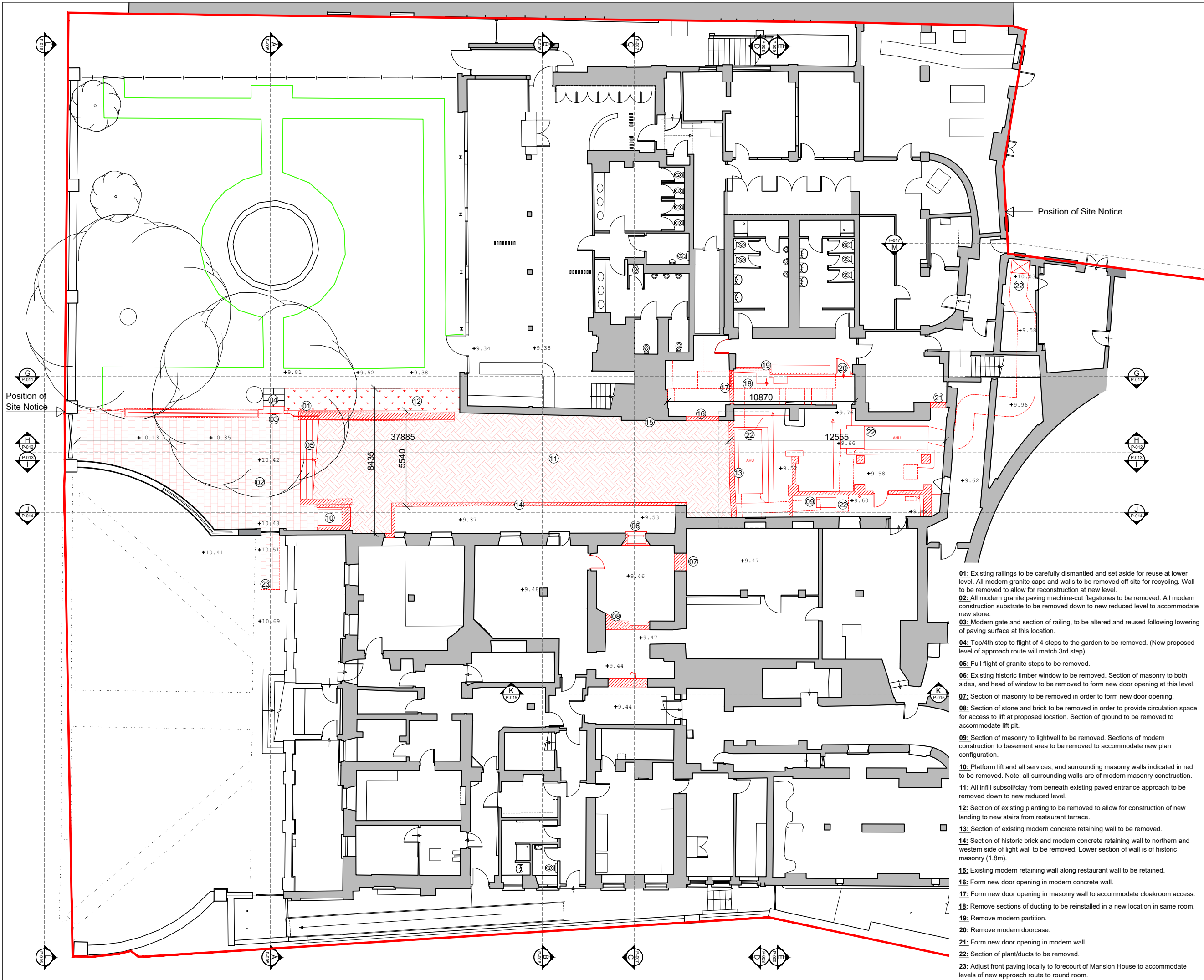
DRAWING NO.: 551-P-000 REVISION: -

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PART 8

Legend:

- Site Boundary** —
- Demolition** ▨
- Proposed** ▨



Position of Site Notice

Position of Site Notice



- 01:** Existing railings to be carefully dismantled and set aside for reuse at lower level. All modern granite caps and walls to be removed off site for recycling. Wall to be removed to allow for reconstruction at new level.
- 02:** All modern granite paving machine-cut flagstones to be removed. All modern construction substrate to be removed down to new reduced level to accommodate new stone.
- 03:** Modern gate and section of railing, to be altered and reused following lowering of paving surface at this location.
- 04:** Top/4th step to flight of 4 steps to the garden to be removed. (New proposed level of approach route will match 3rd step).
- 05:** Full flight of granite steps to be removed.
- 06:** Existing historic timber window to be removed. Section of masonry to both sides, and head of window to be removed to form new door opening at this level.
- 07:** Section of masonry to be removed in order to form new door opening.
- 08:** Section of stone and brick to be removed in order to provide circulation space for access to lift at proposed location. Section of ground to be removed to accommodate lift pit.
- 09:** Section of masonry to lightwell to be removed. Sections of modern construction to basement area to be removed to accommodate new plan configuration.
- 10:** Platform lift and all services, and surrounding masonry walls indicated in red to be removed. Note: all surrounding walls are of modern masonry construction.
- 11:** All infill subsoil/clay from beneath existing paved entrance approach to be removed down to new reduced level.
- 12:** Section of existing planting to be removed to allow for construction of new landing to new stairs from restaurant terrace.
- 13:** Section of existing modern concrete retaining wall to be removed.
- 14:** Section of historic brick and modern concrete retaining wall to northern and western side of light wall to be removed. Lower section of wall is of historic masonry (1.8m).
- 15:** Existing modern retaining wall along restaurant wall to be retained.
- 16:** Form new door opening in modern concrete wall.
- 17:** Form new door opening in masonry wall to accommodate cloakroom access.
- 18:** Remove sections of ducting to be reinstalled in a new location in same room.
- 19:** Remove modern partition.
- 20:** Remove modern doorcase.
- 21:** Form new door opening in modern wall.
- 22:** Section of plant/ducts to be removed.
- 23:** Adjust front paving locally to forecourt of Mansion House to accommodate levels of new approach route to round room.

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE: LOWER GROUND FLOOR PLAN/SITE PLAN (EXISTING/DEMOLITION)	
PROJECT STAGE: PART 8 PLANNING APPLICATION	
PROJECT NO.: 551-20	DRAWN BY: MK / SM / AJ
SHEET SIZE: A3	CHECKED BY: KB
SCALE: 1:200	DATE: Nov. '23
DRAWING NO.: 551-P-001	REVISION:

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PART 8

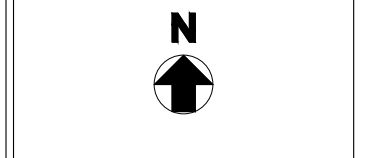
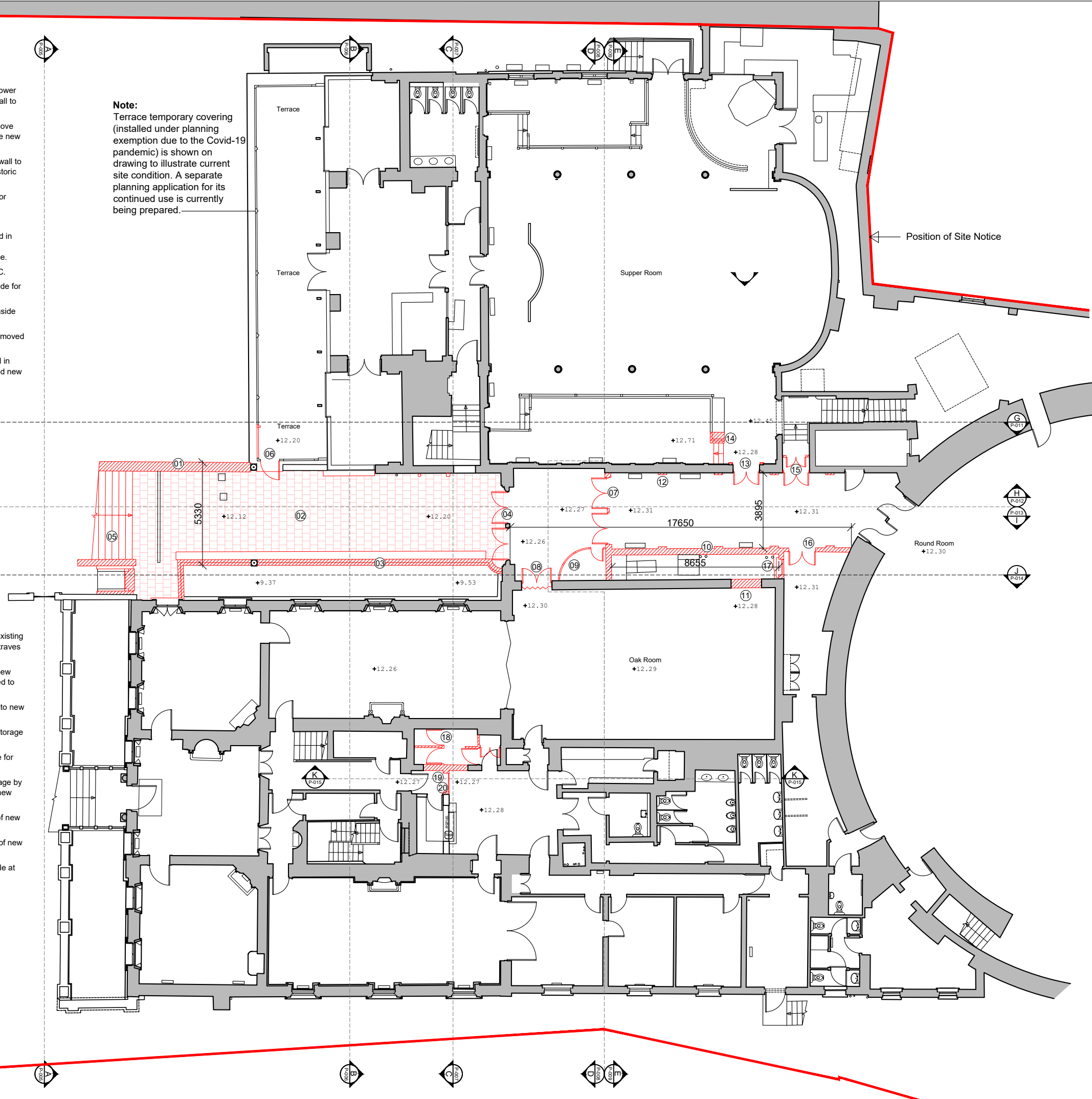
Legend:

- Site Boundary** ———
- Demolition** ▨▨▨▨▨▨▨▨▨▨
- Proposed** ▨▨▨▨▨▨▨▨▨▨

- 01:** All railings to be carefully dismantled and set aside for reuse at lower level. All granite caps and walls for recycling to be removed. New wall to be constructed at new level.
- 02:** Remove all modern granite paving machine-cut flagstones. Remove modern construction substrate to new reduced level to accommodate new stone.
- 03:** Remove section of historic brick and modern concrete retaining wall to northern and western side of light well. Lower section of wall is of historic masonry.
- 04:** Remove existing doorset from structural opening and set aside for storage by DCC.
- 05:** Full flight of granite steps to be removed.
- 06:** Existing gate to side of terrace be removed and area to be infilled in glazing. Section of glazing to front of terrace to be removed to accommodate circulation route onto proposed new stairs from terrace.
- 07:** Existing doorset to be removed and set aside for storage by DCC.
- 08:** Existing doorset from Oak Room Wall to be removed and set aside for storage by DCC.
- 09:** Existing ticket booth to be removed from Entrance Hall and set aside for storage by DCC.
- 10:** Existing historic masonry walls to three sides of lightwell to be removed in order to provide new layout of new Entrance Foyer.
- 11:** Existing section of masonry along Oak Room wall to be removed in order to provide new door opening between Oak Room and proposed new Entrance Foyer to Round Room. Refer to Proposed Drawing No. 551-P-140 for more detail.

Note:
 Terrace temporary covering (installed under planning exemption due to the Covid-19 pandemic) is shown on drawing to illustrate current site condition. A separate planning application for its continued use is currently being prepared.

- 12:** All pilasters and decorative details to be removed from walls of existing entrance hall. All panelling and timber rails, doors, skirting and architraves to be removed from existing walls back to bare surface.
- 13:** Existing doorset to Supper Room to be removed and refitted in new location further into the Supper Room. (Door swings are not permitted to encroach into escape route from Round Room)
- 14:** Existing steps to platform within Supper Room to be altered due to new location of adjacent doorset.
- 15:** Existing doorset to store room to be removed and set aside for storage by DCC.
- 16:** Existing doorset to existing cloakroom be removed and set aside for storage by DCC. Remove section of wall to existing cloak room.
- 17:** Historic window to lightwell to be removed and set aside for storage by DCC. Remove wall surrounding window to allow for construction of new foyer to Round Room.
- 18:** Modern partitions to toilets to be removed to allow construction of new lift shaft to serve all floors of the Mansion House.
- 19:** Section of historic masonry to be removed to allow construction of new lift shaft to serve all floors of the Mansion House.
- 20:** Modern bar to be altered to allow space for 1500mm turning circle at proposed new lift.



NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
UPPER GROUND FLOOR PLAN (EXISTING/DEMOLITION)
 PROJECT STAGE:
PART 8 PLANNING APPLICATION

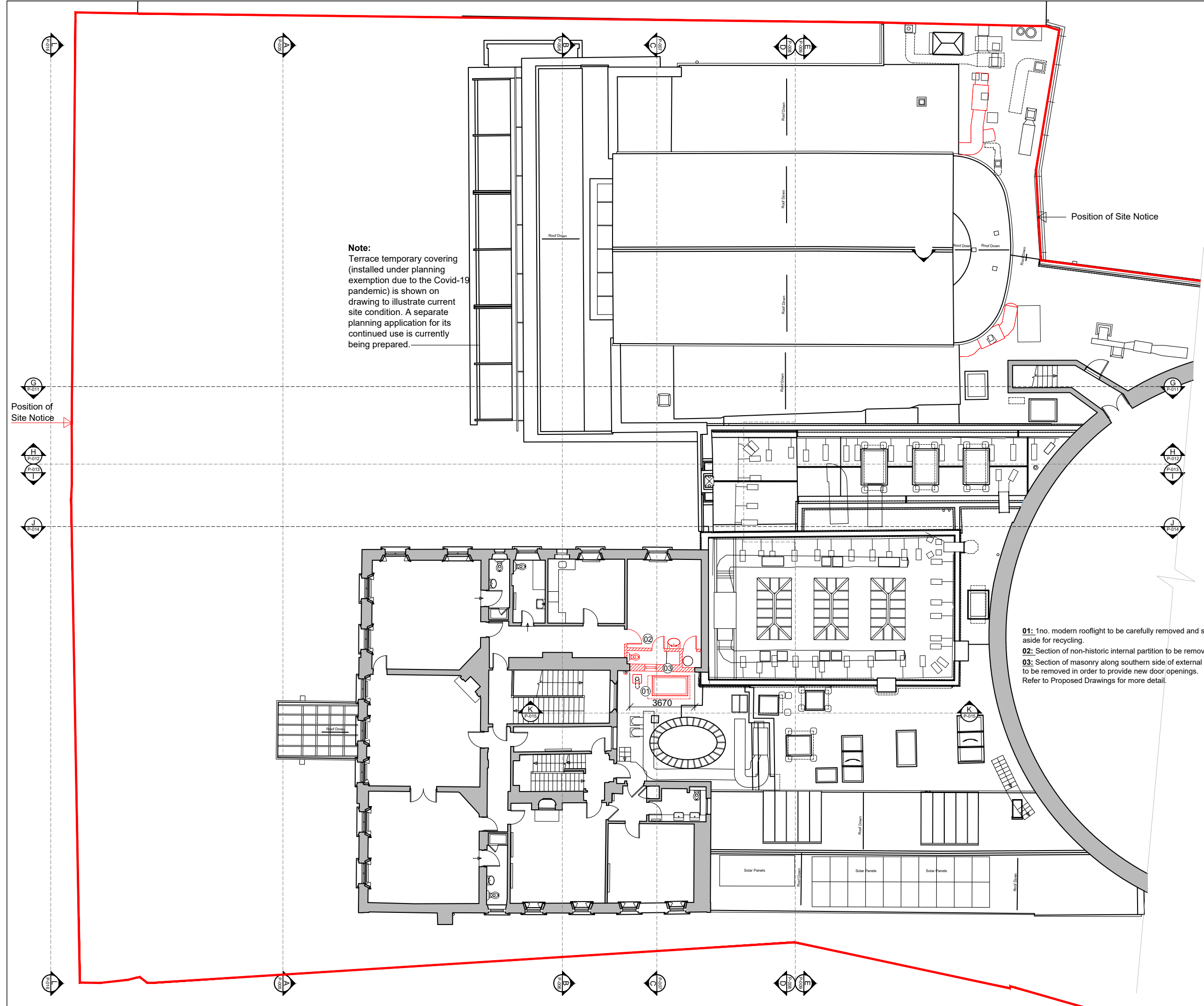
PROJECT NO:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-002	REVISION:	

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PART 8

Legend:

- Site Boundary**
- Demolition**
- Proposed**



Note:
 Terrace temporary covering (installed under planning exemption due to the Covid-19 pandemic) is shown on drawing to illustrate current site condition. A separate planning application for its continued use is currently being prepared.

Position of Site Notice

Position of Site Notice

- 01:** 1no. modern rooflight to be carefully removed and set aside for recycling.
- 02:** Section of non-historic internal partition to be removed.
- 03:** Section of masonry along southern side of external wall to be removed in order to provide new door openings. Refer to Proposed Drawings for more detail.



NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT




DRAWING TITLE:
FIRST FLOOR PLAN (EXISTING/DEMOLITION)
 PROJECT STAGE:
PART 8 PLANNING APPLICATION

PROJECT NO:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-003	REVISION:	

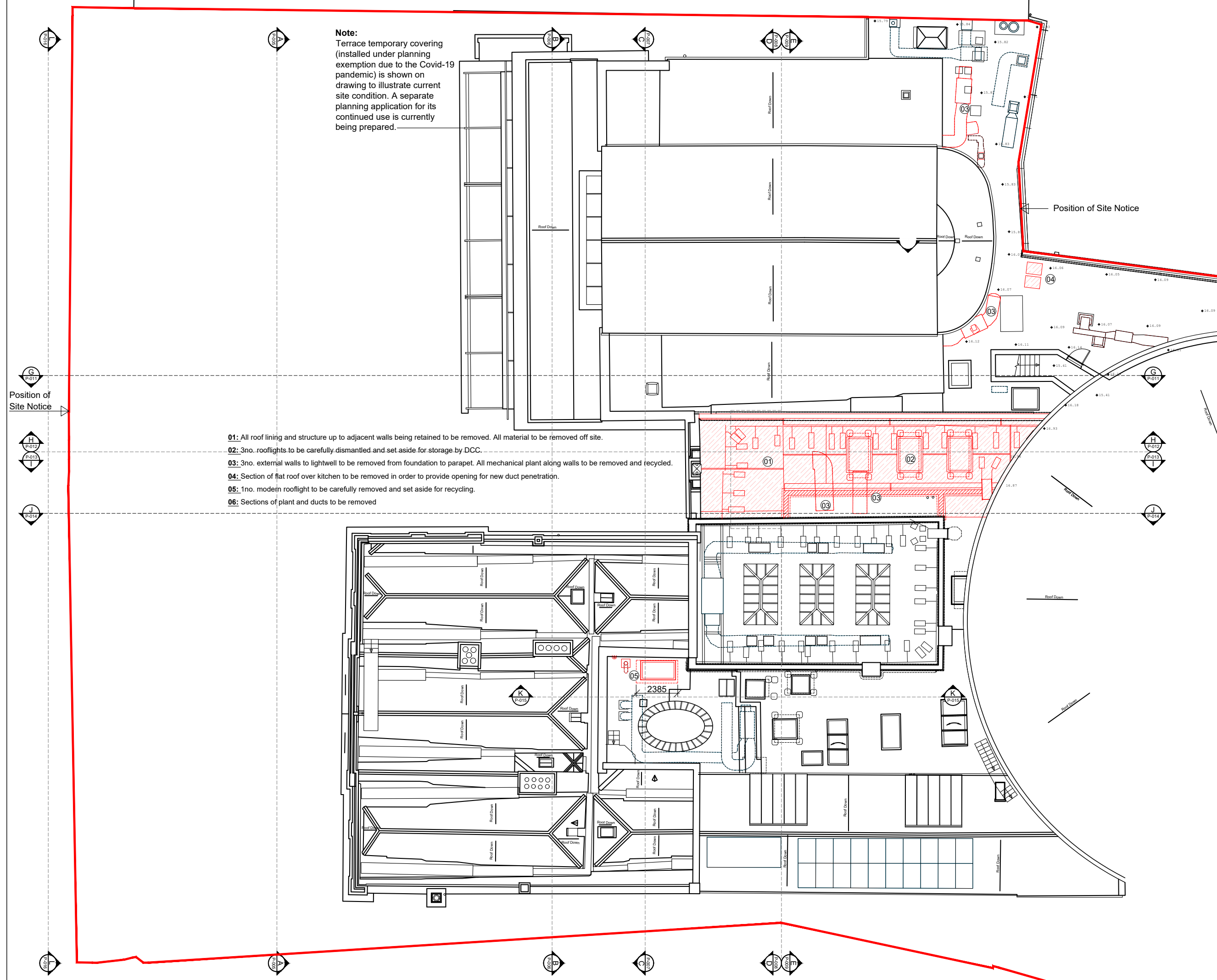
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PART 8

Legend:

- Site Boundary** 
- Demolition** 
- Proposed** 

Note:
 Terrace temporary covering (installed under planning exemption due to the Covid-19 pandemic) is shown on drawing to illustrate current site condition. A separate planning application for its continued use is currently being prepared.



- 01:** All roof lining and structure up to adjacent walls being retained to be removed. All material to be removed off site.
- 02:** 3no. rooflights to be carefully dismantled and set aside for storage by DCC.
- 03:** 3no. external walls to lightwell to be removed from foundation to parapet. All mechanical plant along walls to be removed and recycled.
- 04:** Section of flat roof over kitchen to be removed in order to provide opening for new duct penetration.
- 05:** 1no. modern rooflight to be carefully removed and set aside for recycling.
- 06:** Sections of plant and ducts to be removed

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
ROOF PLAN (EXISTING/DEMOLITION)
 PROJECT STAGE:
PART 8 PLANNING APPLICATION
 PROJECT NO.: 551-20 DRAWN BY: MK / SM / AJ
 SHEET SIZE: A3 CHECKED BY: KB
 SCALE: 1:200 DATE: Nov. '23
 DRAWING NO.: 551-P-004 REVISION:

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PART 8

Legend:

- Site Boundary** ———
- Demolition** [Red hatched box]
- Proposed** [Blue hatched box]

Note:
 Terrace temporary covering (installed under planning exemption due to the Covid-19 pandemic) is shown on drawing to illustrate current site condition. A separate planning application for its continued use is currently being prepared.



- 01:** Existing railings to be carefully dismantled and set aside for reuse at lower level. All modern granite caps and walls to be removed off site for recycling. Wall to be removed to allow for reconstruction at new level.
- 02:** All modern granite paving (machine-cut flagstones) to be removed. All modern construction substrate to be removed down to new reduced level to accommodate new stone.
- 03:** Modern gate and section of railing, to be altered and reused following lowering of paving surface at this location.
- 04:** Top/4th step to flight of 4 steps to the garden to be removed. (New proposed level of approach route will match 3rd step).
- 05:** Full flight of granite and all infill subsoil/clay from beneath existing paved entrance approach steps to be removed to new reduced level.
- 06:** Section of historic brick and modern concrete retaining wall to northern and western side of light wall to be removed. Lower section of wall is of historic masonry (1.8m in height).
- 07:** Remove existing doorset from structural opening and set aside for storage by DCC.
- 08:** Section of glazing to front of terrace to be removed to accommodate circulation route onto proposed new stairs from terrace. (Existing gate to side of terrace be removed and area to be infilled in glazing).
- 09:** Platform lift and all services, and surrounding masonry walls indicated in red to be removed. Note: all surrounding walls are of modern masonry construction.

SECTION A-A

NO.:	DATE:	REVISION:

BLACKWOOD ASSOCIATES ARCHITECTS

9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
**Universal Access Project at
 The Mansion House,
 Dawson Street, Dublin 2**

CLIENT: DUBLIN CITY COUNCIL,
 CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
 SECTION A-A
 (EXISTING/DEMOLITION)



PROJECT STAGE:
 PART 8 PLANNING APPLICATION

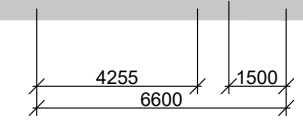
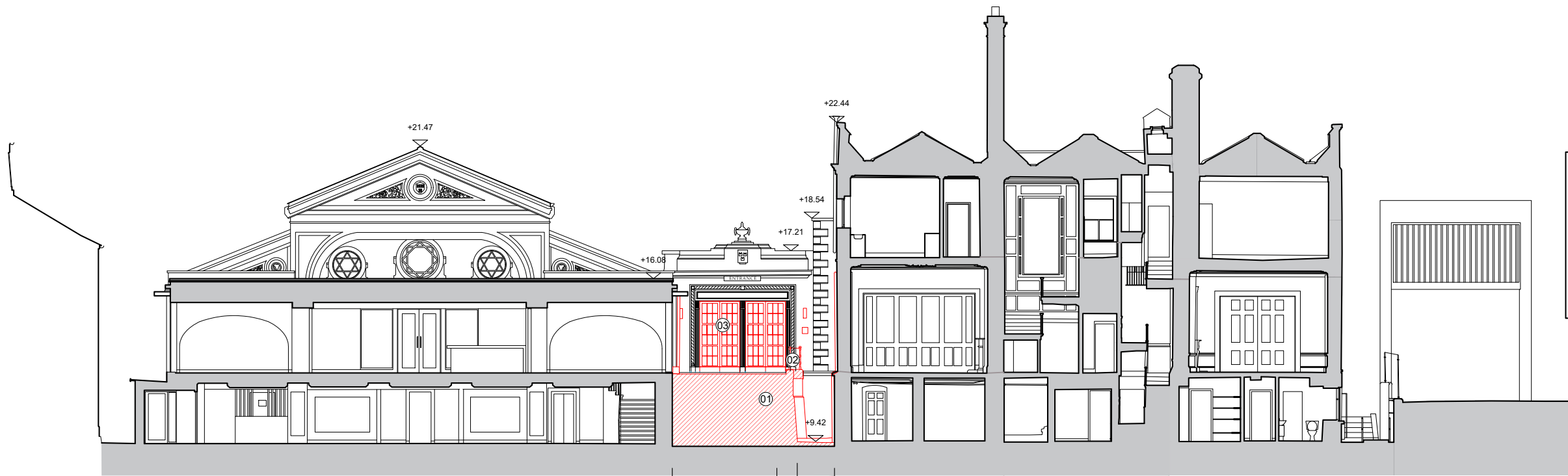
PROJECT NO.:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-005	REVISION:	

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PART 8

Legend:

- Site Boundary ————
- Demolition 
- Proposed 



- 01:** Full flight of granite and all infill subsoil/clay from beneath existing paved entrance approach steps to be removed to new reduced level.
- 02:** Section of historic brick and modern concrete retaining wall to northern and western side of light wall to be removed. Lower section of wall is of historic masonry (1.8m).
- 03:** Remove existing doorset from structural opening and set aside for storage by DCC.

SECTION B-B

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie



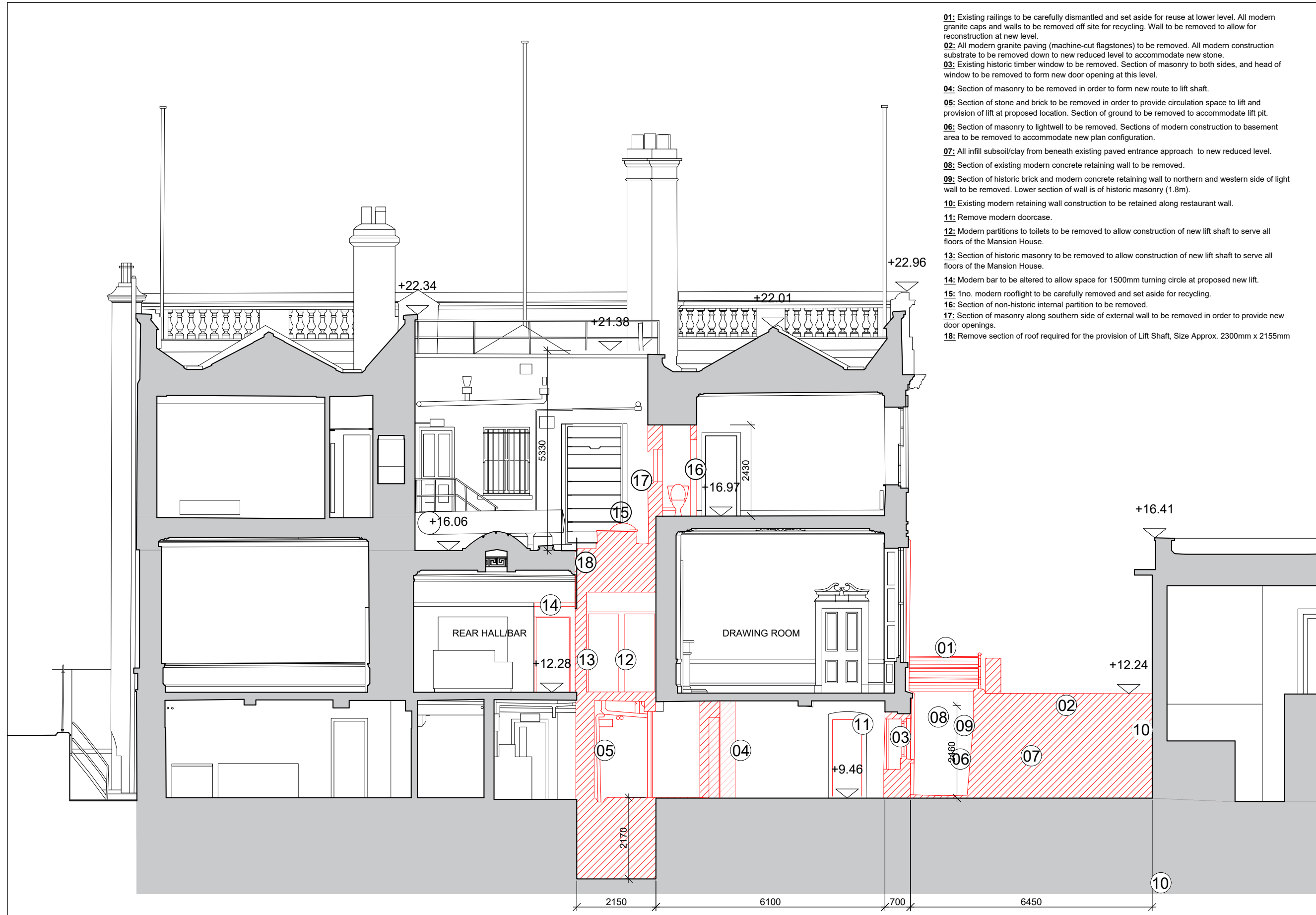
PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2

CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
SECTION B-B (EXISTING/DEMOLITION)

PROJECT STAGE:
PART 8 PLANNING APPLICATION

PROJECT NO:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-006	REVISION:	



SECTION C-C

- 01:** Existing railings to be carefully dismantled and set aside for reuse at lower level. All modern granite caps and walls to be removed off site for recycling. Wall to be removed to allow for reconstruction at new level.
- 02:** All modern granite paving (machine-cut flagstones) to be removed. All modern construction substrate to be removed down to new reduced level to accommodate new stone.
- 03:** Existing historic timber window to be removed. Section of masonry to both sides, and head of window to be removed to form new door opening at this level.
- 04:** Section of masonry to be removed in order to form new route to lift shaft.
- 05:** Section of stone and brick to be removed in order to provide circulation space to lift and provision of lift at proposed location. Section of ground to be removed to accommodate lift pit.
- 06:** Section of masonry to lightwell to be removed. Sections of modern construction to basement area to be removed to accommodate new plan configuration.
- 07:** All infill subsoil/clay from beneath existing paved entrance approach to new reduced level.
- 08:** Section of existing modern concrete retaining wall to be removed.
- 09:** Section of historic brick and modern concrete retaining wall to northern and western side of light wall to be removed. Lower section of wall is of historic masonry (1.8m).
- 10:** Existing modern retaining wall construction to be retained along restaurant wall.
- 11:** Remove modern doorcase.
- 12:** Modern partitions to toilets to be removed to allow construction of new lift shaft to serve all floors of the Mansion House.
- 13:** Section of historic masonry to be removed to allow construction of new lift shaft to serve all floors of the Mansion House.
- 14:** Modern bar to be altered to allow space for 1500mm turning circle at proposed new lift.
- 15:** 1no. modern rooflight to be carefully removed and set aside for recycling.
- 16:** Section of non-historic internal partition to be removed.
- 17:** Section of masonry along southern side of external wall to be removed in order to provide new door openings.
- 18:** Remove section of roof required for the provision of Lift Shaft, Size Approx. 2300mm x 2155mm

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PART 8

- Legend:**
- Site Boundary** ———
 - Demolition** ▨▨▨▨▨▨
 - Proposed** ▨▨▨▨▨▨

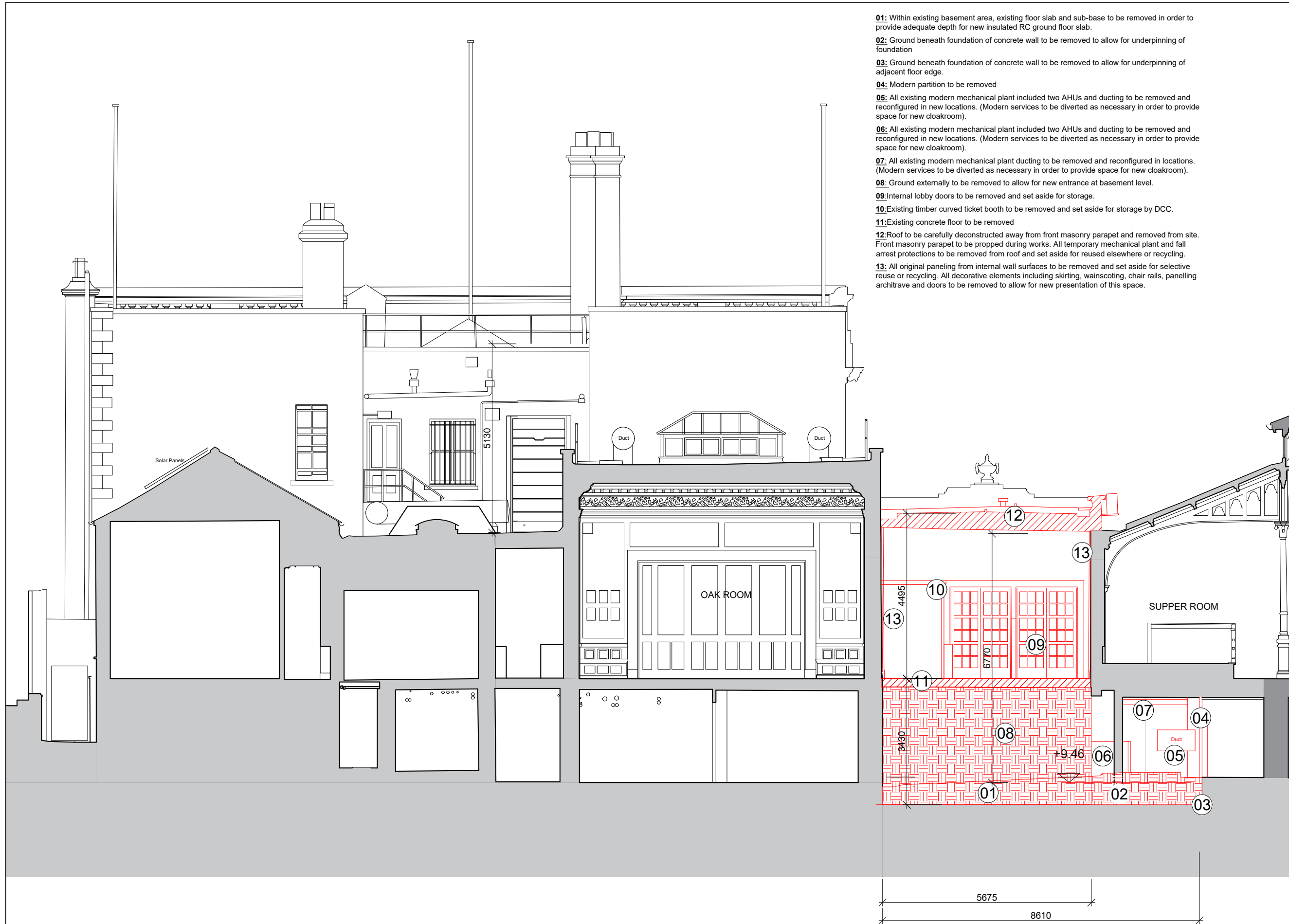
NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2

CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE: SECTION C-C (EXISTING/DEMOLITION)	
PROJECT STAGE: PART 8 PLANNING APPLICATION	
PROJECT NO.: 551-20	DRAWN BY: MK / SM / AJ
SHEET SIZE: A3	CHECKED BY: KB
SCALE: 1:100	DATE: Nov. '23
DRAWING NO.: 551-P-007	REVISION:



- 01:** Within existing basement area, existing floor slab and sub-base to be removed in order to provide adequate depth for new insulated RC ground floor slab.
- 02:** Ground beneath foundation of concrete wall to be removed to allow for underpinning of foundation
- 03:** Ground beneath foundation of concrete wall to be removed to allow for underpinning of adjacent floor edge.
- 04:** Modern partition to be removed
- 05:** All existing modern mechanical plant included two AHUs and ducting to be removed and reconfigured in new locations. (Modern services to be diverted as necessary in order to provide space for new cloakroom).
- 06:** All existing modern mechanical plant included two AHUs and ducting to be removed and reconfigured in new locations. (Modern services to be diverted as necessary in order to provide space for new cloakroom).
- 07:** All existing modern mechanical plant ducting to be removed and reconfigured in locations. (Modern services to be diverted as necessary in order to provide space for new cloakroom).
- 08:** Ground externally to be removed to allow for new entrance at basement level.
- 09:** Internal lobby doors to be removed and set aside for storage.
- 10:** Existing timber curved ticket booth to be removed and set aside for storage by DCC.
- 11:** Existing concrete floor to be removed
- 12:** Roof to be carefully deconstructed away from front masonry parapet and removed from site. Front masonry parapet to be propped during works. All temporary mechanical plant and fall arrest protections to be removed from roof and set aside for reused elsewhere or recycling.
- 13:** All original paneling from internal wall surfaces to be removed and set aside for selective reuse or recycling. All decorative elements including skirting, wainscoting, chair rails, panelling architrave and doors to be removed to allow for new presentation of this space.

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PART 8

- Legend:**
- Site Boundary** ———
 - Demolition** ▨▨▨▨▨▨
 - Proposed** ▨▨▨▨▨▨

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT: Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE: SECTION D-D (EXISTING/DEMOLITION)	
PROJECT STAGE: PART 8 PLANNING APPLICATION	
PROJECT NO.: 551-20	DRAWN BY: MK / SM / AJ
SHEET SIZE: A3	CHECKED BY: KB
SCALE: 1:100	DATE: Nov. '23
DRAWING NO.: 551-P-008	REVISION:

SECTION D-D

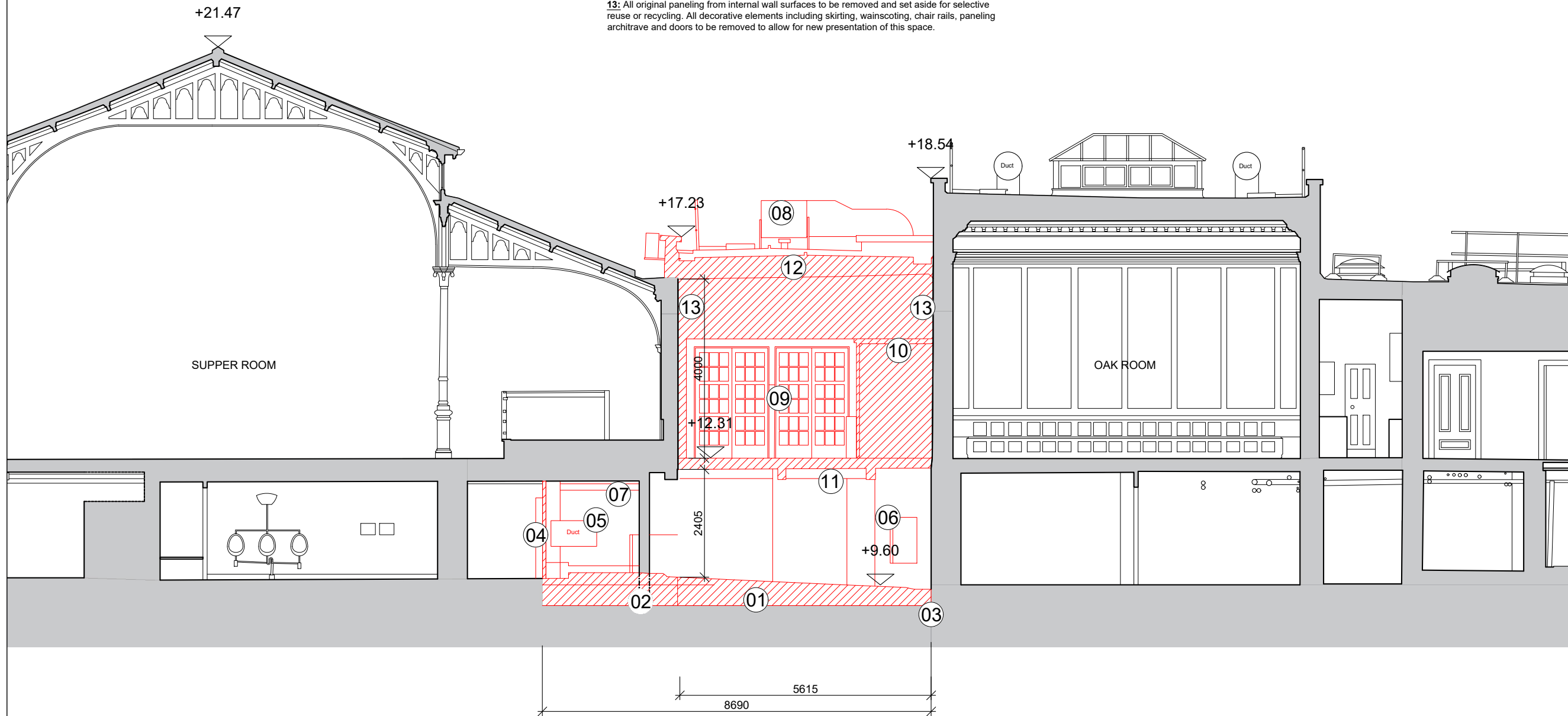
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PART 8

Legend:

- Site Boundary** ———
- Demolition** ▨▨▨▨▨▨
- Proposed** ▨▨▨▨▨▨

- 01:** Within existing basement area, existing floor slab and sub-base to be removed in order to provide for new insulated RC ground floor slab.
- 02:** Ground beneath foundation of concrete wall to be removed to allow for underpinning of foundation.
- 03:** Ground beneath foundation of concrete wall to be removed to allow for underpinning of adjacent floor edge.
- 04:** Modern partition to be removed
- 05:** All existing modern mechanical plant included two AHUs and ducting to be removed and reconfigured in new locations. (Modern services to be diverted as necessary in order to provide space for new cloakroom).
- 06:** All existing modern mechanical plant included two AHUs and ducting to be removed and reconfigured in new locations. (Modern services to be diverted as necessary in order to provide space for new cloakroom).
- 07:** All existing modern mechanical plant ducting to be removed and reconfigured in locations. (Modern services to be diverted as necessary in order to provide space for new cloakroom).
- 08:** All plant and fall arrest system at roof level to be completely removed.
- 09:** Internal lobby doors to be removed and set aside for storage.
- 10:** Existing timber curved ticket booth to be removed and set aside for storage by DCC.
- 11:** Existing concrete floor to be removed
- 12:** Roof to be carefully deconstructed away from front masonry parapet and removed from site. Front masonry parapet to be propped during works. All temporary mechanical plant and fall arrest protections to be removed from roof and set aside for reused elsewhere or cycling.
- 13:** All original paneling from internal wall surfaces to be removed and set aside for selective reuse or recycling. All decorative elements including skirting, wainscoting, chair rails, paneling architrave and doors to be removed to allow for new presentation of this space.



SECTION E-E

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT: Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE: SECTION E-E (EXISTING/DEMOLITION)
 PROJECT STAGE: PART 8 PLANNING APPLICATION

PROJECT NO:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:100	DATE:	Nov. '23
DRAWING NO.:	551-P-009	REVISION:	

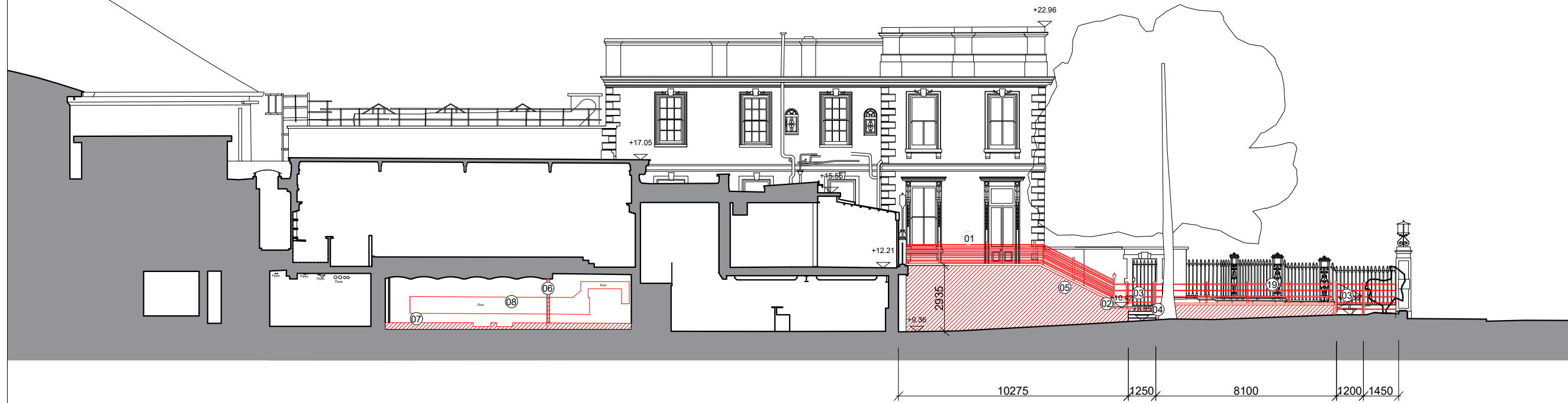
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PART 8

Legend:

- Site Boundary**
- Demolition**
- Proposed**

- 01:** Existing railings to be carefully dismantled and set aside for reuse at lower level. All modern granite caps and walls to be removed off site for recycling. Wall to be removed to allow for reconstruction at new level.
- 02:** All modern granite paving (machine-cut flagstones) to be removed.
- 03:** Modern gate and section of railing, to be altered and reused following lowering of paving surface at this location.
- 04:** Top/4th step to flight of 4 steps to the garden to be removed. (New proposed level of approach route will match 3rd step).
- 05:** Full height of flanking wall to be removed together with flight of granite steps.
- 06:** Brick partition to be removed
- 07:** Modern construction (concrete and subfloor) substrate to be removed to new reduced level to accommodate new stone.
- 08:** All existing modern mechanical plant included two AHUs and ducting to be removed. Modern services to be diverted as necessary to avoid demolition.



SECTION G-G

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
SECTION G-G (EXISTING/DEMOLITION)
 PROJECT STAGE:
PART 8 PLANNING APPLICATION

PROJECT NO.:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-011	REVISION:	

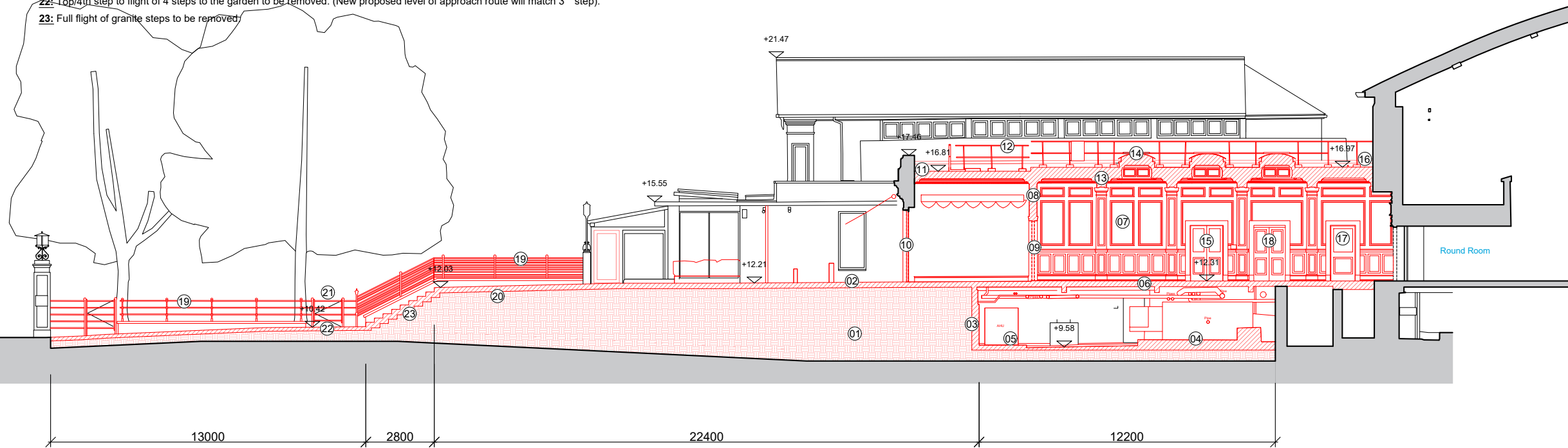
- 01: Modern construction substrate to be removed to new reduced level to accommodate new approach route.
- 02: All modern granite paving machine-cut flagstones to be removed.
- 03: Modern concrete retaining wall between external subbase and internal plant room at basement level of Fire restaurant to be removed.
- 04: Modern construction (concrete and subfloor) substrate to be removed to new reduced level to accommodate new stone.
- 05: All existing modern mechanical plant included two AHUs and ducting to be removed. Modern services to be diverted as necessary to avoid demolition.
- 06: Section of existing modern/1928 shuttered concrete floor over, to the extent indicated in red to be removed.
- 07: All original panelling from internal wall surfaces to be removed and set aside for selective reuse or recycling. All decorative elements including skirting, wainscoting, chair rails, panelling architrave and doors to be removed to allow for new presentation of this space section of masonry in order to form new door opening.
- 08: Internal partition at entrance lobby to be removed.)
- 09: Internal lobby doors to be removed and set aside for storage.
- 10: External doors and frames, to be removed and set aside for storage.
- 11: Existing roof to be carefully deconstructed away from front masonry parapet and removed from site. Front masonry parapet to be propped during works.
- 12: Existing temporary fall arrest protections to be removed from roof and set aside for reused elsewhere or cycling.
- 13: All roof structural elements and material associated with the roof to be removed off site.
- 14: 3no. rooflights to be carefully removed and set aside for storage by DCC. Refer to impact assessment no..(TBC)
- 15: Doorset to/from the Supper Room to be removed and set aside for adjustment and reuse.
- 16: Carefully disconnect roof from masonry wall to Round Room and remove from site. Careful removal of lead flashing in order to avoid damage to brickwork during works.
- 17: Existing doorset to store room to be removed and set aside for storage by DCC.
- 18: Existing doorset from escape stairs from Round Room balcony to be removed and set aside for storage by DCC. Remove section of wall to existing cloak room.
- 19: Existing railings to be carefully dismantled and set aside for reuse at lower level. All modern granite caps and walls to be removed off site for recycling. Wall to be removed to allow for reconstruction at new level.
- 20: All modern granite paving (machine-cut flagstones) to be removed. All modern construction substrate to be removed down to new reduced level to accommodate new stone.
- 21: Modern gate and section of railing, to be altered and reused following lowering of paving surface at this location.
- 22: Top/4th step to flight of 4 steps to the garden to be removed. (New proposed level of approach route will match 3rd step).
- 23: Full flight of granite steps to be removed.

PLEASE NOTE:
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PART 8

Legend:

- Site Boundary ———
- Demolition ▨▨▨▨▨▨
- Proposed ▨▨▨▨▨▨



SECTION H-H

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
 Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
 SECTION H-H (EXISTING/DEMOLITION)
 PROJECT STAGE:
 PART 8 PLANNING APPLICATION

PROJECT NO.:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-012	REVISION:	

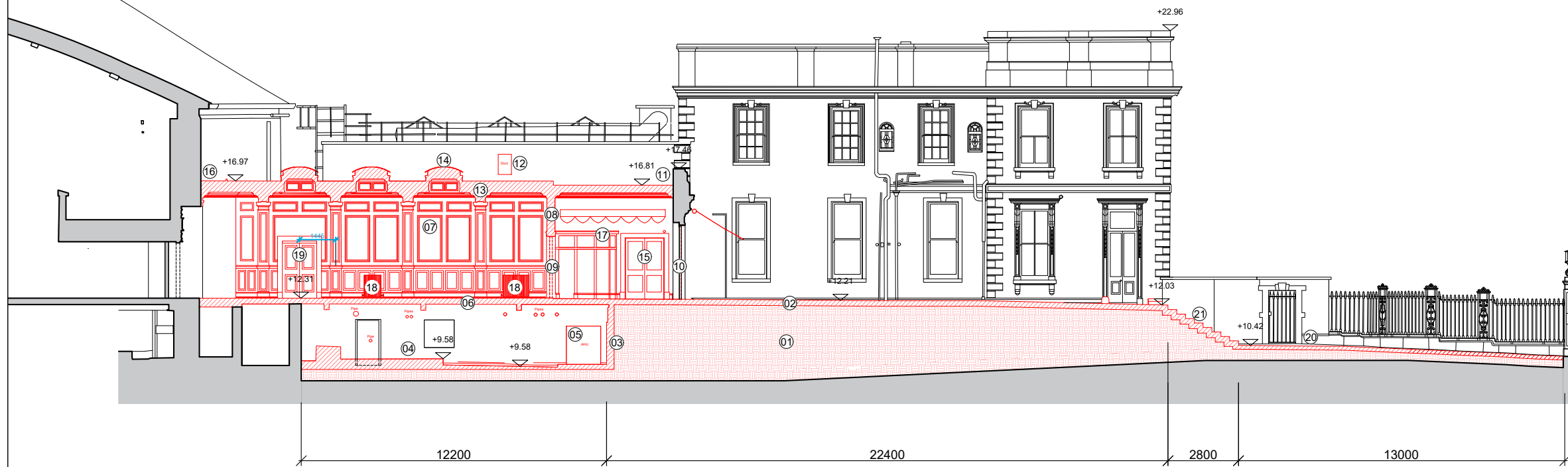
- 01:** Modern construction substrate to be removed to new reduced level to accommodate new entrance approach route.
- 02:** All modern granite paving (machine-cut flagstones) to be removed.
- 03:** Modern concrete retaining wall between external subbase and internal plant room at basement level of Fire restaurant to be removed.
- 04:** Modern construction (concrete and subfloor) substrate to be removed to new reduced level to accommodate new floor construction.
- 05:** All existing modern mechanical plant included two AHUs and ducting to be removed. Modern services to be diverted as necessary to avoid demolition.
- 06:** Section of existing modern/1928 shuttered concrete floor over, to the extent indicated in red to be removed.
- 07:** All original panelling from internal wall surfaces to be removed and set aside for selective reuse or recycling. All decorative elements including skirting, wainscoting, chair rails, panelling architrave and doors to be removed to allow for new presentation of this space section of masonry in order to form new door opening.
- 08:** Internal partition at entrance lobby to be removed.)
- 09:** Internal lobby doors to be removed and set aside for storage.
- 10:** External doors and frames, to be removed and set aside for storage.
- 11:** Existing roof to be carefully deconstructed away from masonry parapet and removed from site. Masonry parapet to be propped during works.
- 12:** Existing temporary fall arrest protections to be removed from roof and set aside for reused elsewhere or cycling.
- 13:** All roof structural elements and material associated with the roof to be removed off site.
- 14:** 3no. rooflights to be carefully removed and set aside for storage by DCC.
- 15:** Doorset to/from the Oak Room to be removed and set aside for storage by DCC.
- 16:** Carefully disconnect roof from masonry wall to Round Room and remove from site. Careful removal of lead flashing in order to avoid damage to brickwork during works.
- 17:** Existing ticketing booth to be removed and set aside for storage by DCC.
- 18:** Existing cast iron radiators are to be removed and set aside for storage by DCC.
- 19:** Doorset to/from the Cloak Room to be removed and set aside for adjustment and reuse.
- 20:** All modern granite paving (machine-cut flagstones to be removed). All modern construction substrate to be removed down to new reduced level to accommodate new stone.
- 21:** Full flight of granite steps to be removed.

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PART 8

Legend:

- Site Boundary** ———
- Demolition** ▨▨▨▨▨▨▨▨▨▨
- Proposed** ▨▨▨▨▨▨▨▨▨▨



SECTION I-I

NO.:	DATE:	REVISION:

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie



PROJECT:
**Universal Access Project at
 The Mansion House,
 Dawson Street, Dublin 2**

CLIENT: DUBLIN CITY COUNCIL,
 CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
 SECTION I-I
 (EXISTING/DEMOLITION)

PROJECT STAGE:
 PART 8 PLANNING APPLICATION

PROJECT NO.:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-013	REVISION:	

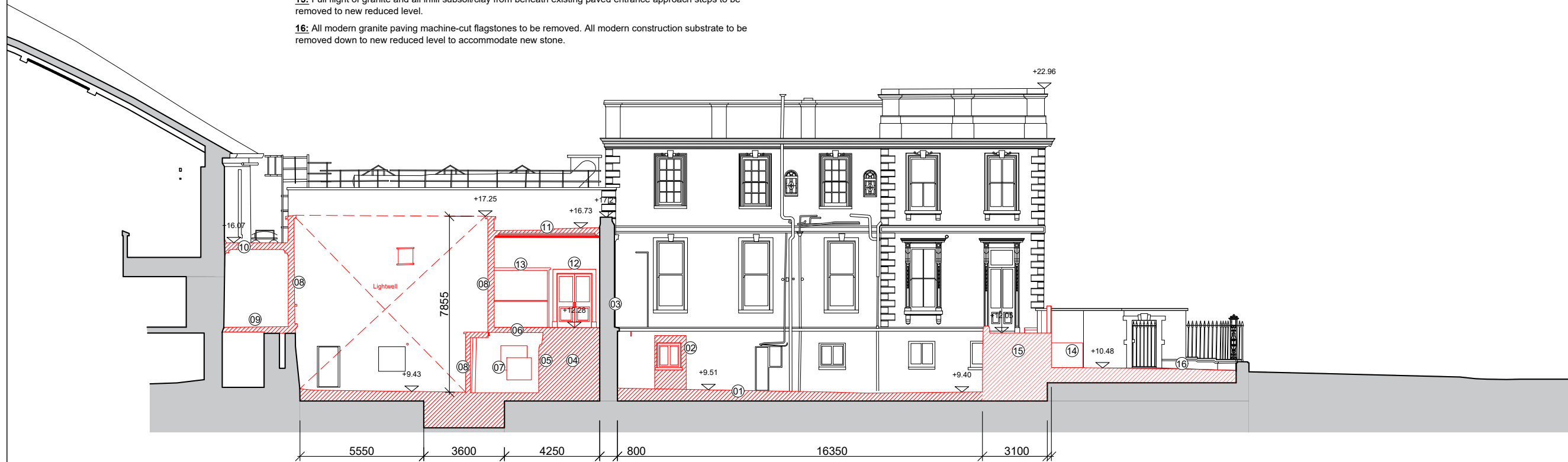
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PART 8

Legend:

- Site Boundary** ———
- Demolition** ▨▨▨▨
- Proposed** ▨▨▨▨

- 01:** Modern concrete and sub-base construction to existing lightwell to be removed to a new reduced level to accommodate new stone paving at this area.
- 02:** Existing historic timber window to be removed. Section of masonry to both sides, and head of window to be removed to form new door opening at this level.
- 03:** Side walls of Main Entrance West Elevation to be retained and propped during works.
- 04:** Existing soil/fill material beneath entrance hallway to be removed.
- 05:** Existing section of part modern, part historic wall between basement and lower section of Main elevation to be removed.
- 06:** All masonry floors beneath existing entrance hallway to be removed.
- 07:** All existing modern mechanical plant included two AHUs and ducting to be removed. Modern services to be diverted as necessary.
- 08:** Section of masonry to lightwell to be removed. Sections of modern construction to basement area to be removed to accommodate new plan configuration.
- 09:** Section of existing modern/1928 shuttered concrete floor over, to the extent indicated in red to be removed.
- 10:** Section roof structure and material associated with the roof at this location in the cloak room to be removed to allow new space to be executed. Remove all roof material from site.
- 11:** All roof structural elements and material associated with the roof to be removed from site.
- 12:** Existing Oak Room doors and frames to be removed, and set aside for storage.
- 13:** Existing timber curved ticket booth to be removed and set aside for storage by DCC.
- 14:** Platform lift and all services, and surrounding masonry walls indicated in red to be removed. Note: all surrounding walls are of modern masonry construction.
- 15:** Full flight of granite and all infill subsoil/clay from beneath existing paved entrance approach steps to be removed to new reduced level.
- 16:** All modern granite paving machine-cut flagstones to be removed. All modern construction substrate to be removed down to new reduced level to accommodate new stone.



SECTION J-J

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie



PROJECT:
**Universal Access Project at
 The Mansion House,
 Dawson Street, Dublin 2**

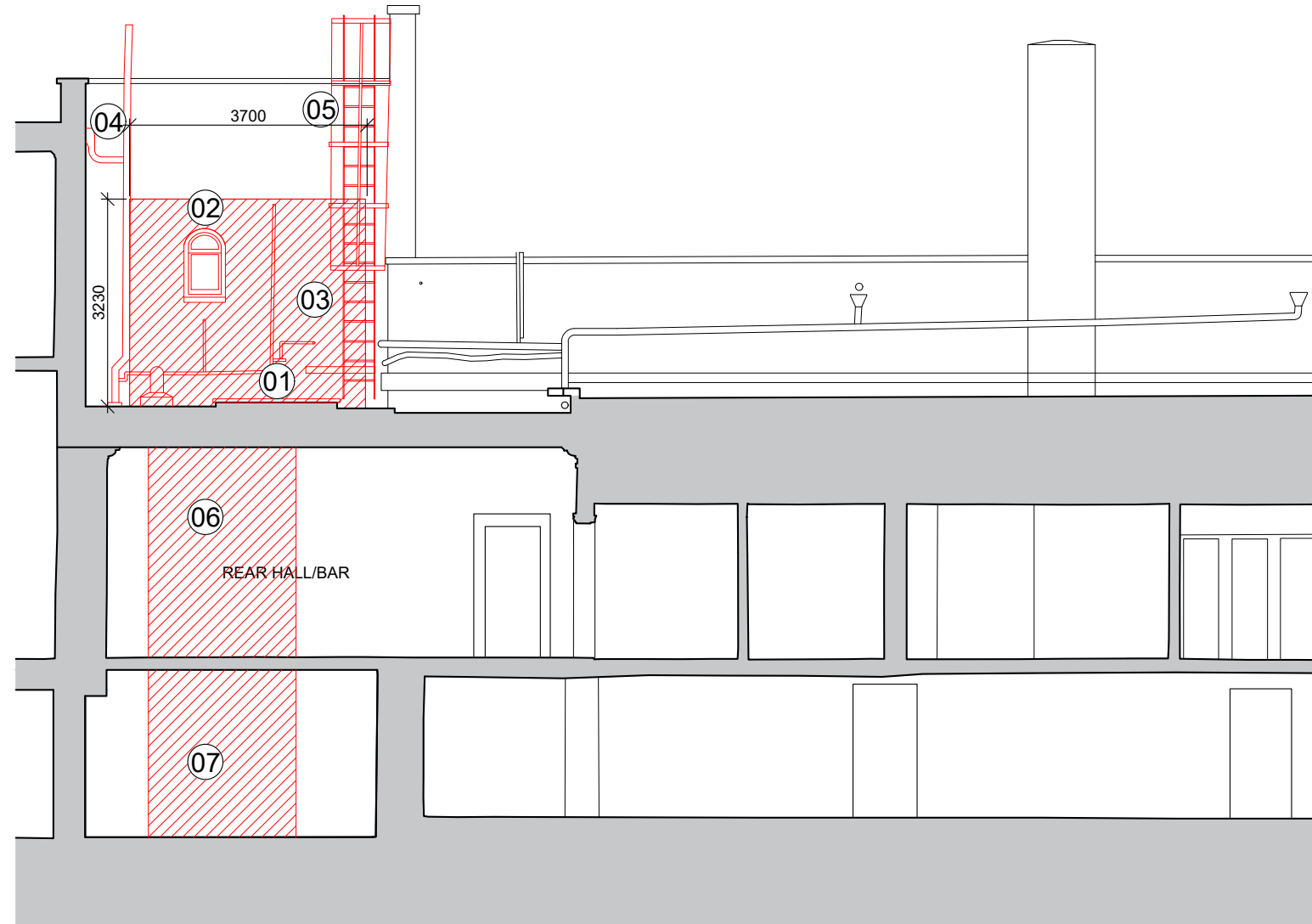
CLIENT: DUBLIN CITY COUNCIL,
 CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
 SECTION J-J
 (EXISTING/DEMOLITION)

PROJECT STAGE:
 PART 8 PLANNING APPLICATION

PROJECT NO:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-014	REVISION:	

- 01:** 1 no. modern rooflight to be carefully removed and set aside for recycling.
- 02:** Existing stained glass to en-suite window to be removed.
- 03:** Section of masonry along southern side of external wall to be removed in order to provide new door openings.
- 04:** Existing modern services to be removed or redirected.
- 05:** Existing ladder to be removed.
- 06:** Section of masonry wall at Ground Floor Level to be removed to accommodate lift structure. Lath and Plaster to remain and to be supported into new lift shaft structure
- 07:** Section of masonry wall at Basement Floor Level to be removed to accommodate lift structure.



SECTION K-K

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PART 8

Legend:

- Site Boundary**
- Demolition**
- Proposed**

NO.: DATE: REVISION:

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
 Universal Access Project at
 The Mansion House,
 Dawson Street, Dublin 2
CLIENT: DUBLIN CITY COUNCIL,
 CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
 SECTION K-K
 (EXISTING/DEMOLITION)
PROJECT STAGE:
 PART 8 PLANNING APPLICATION

PROJECT NO:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:100	DATE:	Nov. '23
DRAWING NO.:	551-P-015	REVISION:	

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PART 8

Legend:

- Site Boundary** ———
- Demolition** ▨▨▨▨▨▨
- Proposed** ▨▨▨▨▨▨



21600 8400 20500

SECTION L-L

NO.:	DATE:	REVISION:

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT
 DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie




PROJECT:
Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

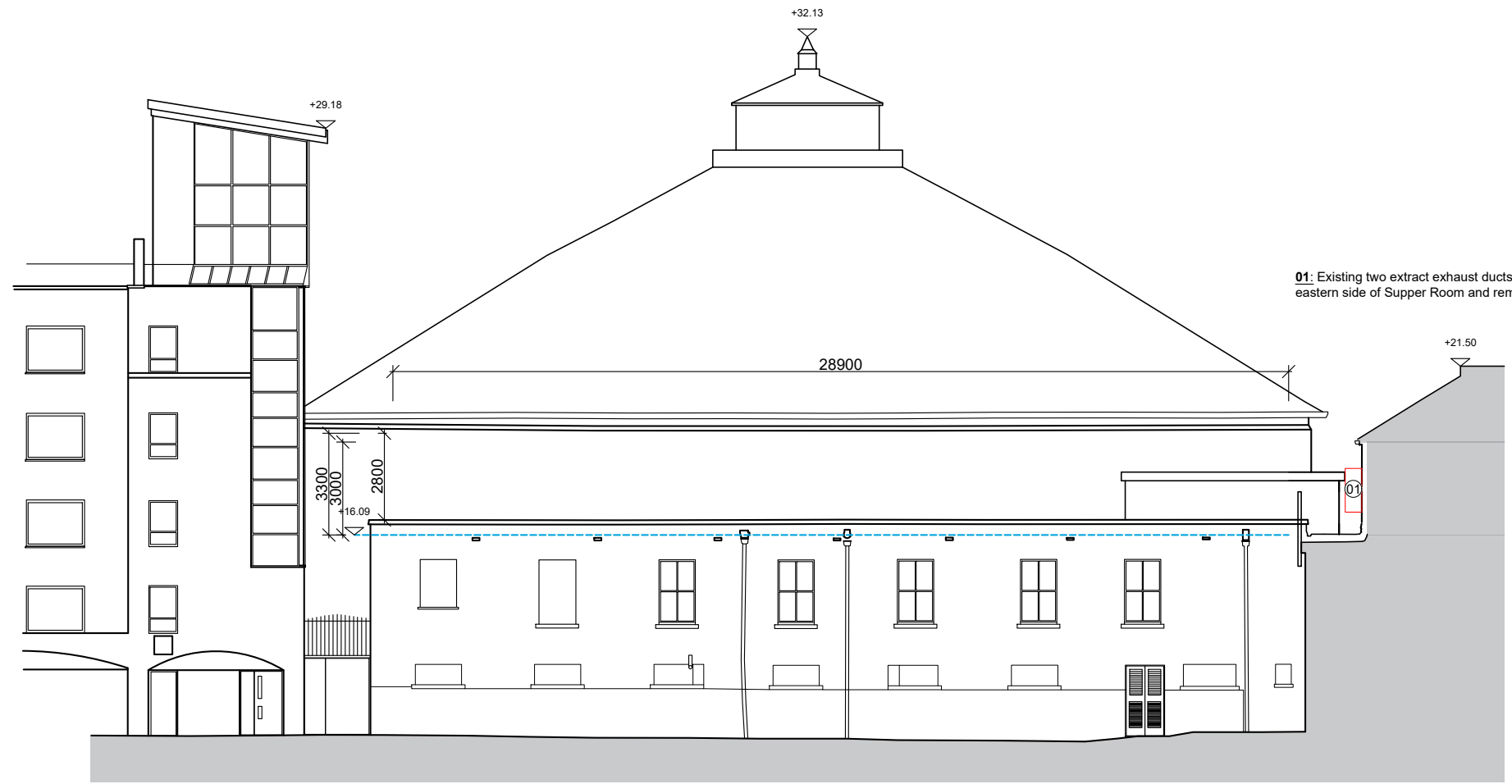
DRAWING TITLE:
 EXISTING SECTION L-L (EXISTING CONTEXT ELEVATION)
 PROJECT STAGE:
 PART 8 PLANNING APPLICATION

PROJECT NO.:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-016	REVISION:	

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PART 8

- Legend:**
- Site Boundary 
 - Demolition 
 - Proposed 



01: Existing two extract exhaust ducts to be detached from eastern side of Supper Room and removed from roof.

SECTION M-M

NO.	DATE	REVISION

BLACKWOOD ASSOCIATES ARCHITECTS
 9 MOUNT STREET CRESCENT DUBLIN 2 IRELAND
 phone: (01) 478 4590
 e-mail: studio@blackwood.ie

PROJECT:
 Universal Access Project at The Mansion House, Dawson Street, Dublin 2
 CLIENT: DUBLIN CITY COUNCIL, CHIEF EXECUTIVE'S DEPARTMENT

DRAWING TITLE:
 EXISTING SECTION M-M (EXISTING CONTEXT ELEVATION)
 PROJECT STAGE:
 PART 8 PLANNING APPLICATION

PROJECT NO:	551-20	DRAWN BY:	MK / SM / AJ
SHEET SIZE:	A3	CHECKED BY:	KB
SCALE:	1:200	DATE:	Nov. '23
DRAWING NO.:	551-P-017	REVISION:	