



Comhairle Cathrach
Bhaile Átha Cliath
Dublin City Council

Part 8 Submission Architect's Appraisal **INCHICORE LIBRARY** **Access, Refurbishment & Alteration Works** **34 Emmet Road, Dublin 8**



walsh associates
ARCHITECTS & PROJECT MANAGERS

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10th September 2019



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Copies of A1-size Engineer's Drawings	
(Note, same drawings are included in Appendix B in A3-size)	



1.0 Introduction

This report has been prepared to accompany the Part 8 submission for the proposed development at the existing Inchicore Library at 34 Emmet Road, Dublin 8, D08 ED66, commissioned by Dublin City Council. The report is to be read in conjunction with Architectural & Engineering drawings and other documents as listed below. The report is prepared by Walsh Associates Architects in conjunction with EirEng Consulting Engineers, Slattery Conservation Architects and others as referred to.

Accompanying Documents attached in the Appendices:

Architectural Drawings:

P-001	Site Location Map	Size: A3, Scale = 1:1000
P-002	Proposed Site Layout Plan	Size: A3, Scale = 1:250
P-003	Proposed Ground Floor Plan	Size: A3, Scale = 1:125
P-004	Proposed Basement Level Plan	Size: A3, Scale = 1:125
P-005	Elevations (North & East)	Size: A3, Scale = 1:100
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P-009	Artist's Impression of Proposal	Size: A3, NTS
P-010	Contextual Section	Size: A3, Scale = 1:200
SV-001	Existing Site Layout Plan	Size: A3, Scale = 1:250
SV-002	Existing Ground Floor Plan	Size: A3, Scale = 1:100
SV-003	Existing Basement Plan	Size: A3, Scale = 1:100
SV-004	Existing Elevations (North & East)	Size: A3, Scale = 1:100
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SV-006	Existing Sections	Size: A3, Scale = 1:100

Other Documents to be read in conjunction with this report, included in Appendices:

- Civil-Structural Engineering Report & Drawings
- Conservation Architect's Reports
- Photos of Existing Building
- Correspondence from Dublin City & Library Archive

2.0 Site Location & Historical Background

Inchicore Library has a well-defined and established site along Emmet Road. The rectangular site is bounded by fencing on a low wall along the footpath at Emmet Road to the North. Side boundaries consist of wet dashed boundary walls to the East and West. The South boundary consist of a c. 3.6m high retaining wall and c. 1.5m high fencing on top.

The Municipal Library at Inchicore was built in Art Deco style and was officially opened on 12th February 1937. The external appearance of the Library is almost identical to the other libraries built around the same time in Drumcondra and Ringsend. It can be concluded that the building was built as an application of a standardised plan at this site and was not altered or extended throughout its existence.

A letter from Mary Clark City Archivist to Ms Susan Roundtree Senior Architect at DCC dated 9 August 2003, see same in Appendix E, confirms searches regarding architectural documentation of the library were carried out within the collections of Dublin City Archives, of

the Gilbert Library and of Inchicore, Ringsend and Drumcondra Libraries. Some aspects of the historical background of the library were revealed but architectural plans, drawings were not found. Online Planning search did not reveal any recent Planning Application for the site.

3.0 Scope

The primary aim of the project is to restore, and provide and maximise access to the existing facility of Inchicore Library.

- Expand on the existing service located within the building.
- Fulfil the operational and spatial requirements as specified by DCC in their briefing document.
- Exploit its unique location and architectural qualities to make it accessible and visible.

The transformed building will exploit the unique layout of the existing space, while providing appropriate and modern services and back of house areas. The design and construction of the building and access elements will:

- Be of highest architectural and urban design quality, relating meaningfully to the building's historic architectural form.
- Demonstrate compliance with and best practice in the areas of design.
- Be designed and constructed to conform in all aspects with the requirements of all relevant statutory provisions and regulations as defined under the relevant Acts and Standards current at the time of issue.

4.0 Site Characteristics

In Dublin City Development Plan 2016-2022 the site is located within Zoning Z1: Sustainable Residential Neighbourhoods. The 'library' use is permissible within Zoning Z1. The site is outside the Conservation Area around Kilmainham Gaol. The building is not listed as Protected Structure but included in the National Inventory of Architectural Heritage, Record Number: 50080156.

The proposal is to provide accessibility measures to the building, refurbish the main building retaining its character and role in the streetscape. The proposed extension is at the rear, hidden by the existing structures. The proposal's site characteristics are in line with Dublin City Development Plan 2016-2022. Main characteristics are summarised as follow:-

Zoning:	Z1
Site Area:	820 m2 (0.082 ha)
Existing Gross Floor Area of Building:	251 m2
Proposed GFA of New Extension:	76 m2
Area of demolitions:	-
Proposed Overall Gross Floor Area:	327 m2
Footprint area of proposal:	350 m2
Proposed Plot Ratio:	0.40
Proposed Site Coverage:	43 %
Number of storeys:	2 (including Ground floor and 10 m2 at Basement)

5.0 Appropriate Assessment Screening

Shane Casey of Dublin City Council confirmed as follows:

The project site does not lie within any Natura 2000 Site. The nearest Natura 2000 sites are approximately 7.5km away (South Dublin Bay SAC, and South Dublin Bay & River Tolka Estuary SPA).

There will be no habitat loss, habitat fragmentation, or species disturbance as a result of the proposed project.

The project site is in a built-up area and is separated from the River Camac (a tributary of the River Liffey that ultimately flows into the Natura 2000 Sites) by road networks and urban development. There are no hydrological links between the project and the Natura 2000 sites which would likely result in an impact to the latter.

There are no elements of the project, either alone or in-combination with other projects, that would likely give rise to impacts on the Natura 2000 Sites.

As such, there is no requirement for Stage 2 Appropriate Assessment.

6.0 Description of Proposed Works

The proposed works can be divided into following main groups of works:

- Refurbishment and alteration to existing building:

The existing building is a significant and popular structure, however it has become dated and requires attention. Main works will include upgrade of the building fabric and building services to improve the energy performance. Further improvements include interior fit-out and repair of windows and other elements of the building as required. The main intention is to keep the main features of the existing main building as they are or renovate them with minimum change to their current appearance.


The existing rear extension, including the external store and the basement area will undergo a major alteration to include accommodation as required by a modern library.

- New extension:

The new extension will include larger rooms to improve library services, including a new multipurpose room, staff office, canteen/kitchen and other ancillary accommodation. The new single-storey extension is hidden from the road and utilises the external areas behind the existing library building.

- External works:

The front landscaped area including the existing external stairs will undergo a major change including the provision of accessibility measures and a new landscaped layout. The site entrance will be relocated. The existing embankment will incorporate a ramp system, a platform lift and new steps. The street front boundary will retain the



existing railing which will be refurbished; a new sliding gate will be provided at a new location, at the old gate's location the fencing will be made continuous. The new layout will include upgrade to the side boundary wall, the provision of an entrance platform, benches and new planting. Note, in front of the site entrance, there is an existing public car parking zone. Provision of a disabled car parking space was considered at this location, however the available space is too narrow to provide a disabled car parking space in line with Building Regulation's Part M requirements.

At the side and rear of the existing building the areas will be better utilised. A bicycle parking areas is proposed to the side of the main building. At the rear an external activity space is proposed with good connection to the new multipurpose room.

Design aspects and options of the above were carefully considered during the design development. Although the existing building is not a protected structure the Design Team employed a conservation architect to ensure the design approach is respecting sensitivities of the current layout. In relation to the architectural, historic and social significance of the existing building the following key aspects were provided by the proposed design:

- There are no new buildings proposed to the front or sides of the existing building, retaining its main character and the character of the street scape. The single-story new extension at the rear is not visible from the front and has a minimal visual impact on the neighbours.
- Symmetrical layout of main building is reinforced by the central entrance platform and the layout of the front garden area.
- The existing library building and the entire front area will be fully refurbished and landscaped for maximum benefit to provide a civic realm at the existing Library site along Emmet Road.

Appendix C includes a Report of the Design Team's Conservation Architect with further details on the design approach.

The new extension's impact on the neighbours and the streetscape is minimal. Massing and architectural design of the new extension was informed by the following aspects:

- The Client brief prescribed room areas and thus defined the floor area of the new extension. The position of the new extension creates maximum open area at the side of the new Multipurpose Room at the South East corner of the site. At the back of the building to the South and along the West site boundary the external areas are to provide service/maintenance access and daylighting.
- The new structure extends a little bit beyond the existing rear extension and the external store. This additive architectural massing makes the new extension easily identifiable. The logic of the additive massing is in line with the original buildings massing where the main building, the rear extension and the external store are clearly defined units.
- The new extension should have a robust structure, robustness of the corners are critical. As the new structure extends beyond the existing rear extension, the necessary structural elements can be provided in a simple fashion at the corners while keeping the new structural walls in line with the existing rear wall.

Boundary treatment and privacy of the residential neighbours is addressed as follows:


- 
- The existing library building and the proposed extension are both single storey. The existing extension is at the rear section of the existing site.
 - The side boundary walls at the rear of the site towards the neighbours are approximately 2.4 m high. This above eye-level and also above eye-level when standing at finished ground floor in the building.
 - The rear retaining wall is over 3.5 m high and there is a palisade fencing partly overgrown with dense planting on top.
 - It can be concluded that although there are windows and doors provided at all sides of the new extension, there is no overlooking to neighbouring properties.
 - The existing side and rear site boundaries will be repaired and repainted, their materiality and character will not be changed.

Photo documentation of the existing building and site conditions are included in Appendix D and also as part of the Conservation Architect's Section in Appendix C.



Part 8 Submission

INCHICORE LIBRARY
Access & Refurbishment Works
34 Emmet Road, Dublin 8

Appendix A

Architectural Drawings (Proposal and Existing)

Planning Pack Map



CENTRE
COORDINATES:
ITM 712560,733572

PUBLISHED: 03/05/2018
ORDER NO.: 50006092_1

MAP SERIES: 1:1,000
MAP SHEETS: 3263-11

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Site Outlined in Red
'*' indicates approx. location of Site Notice

Site Location Map

Scale 1:1000 @ A3

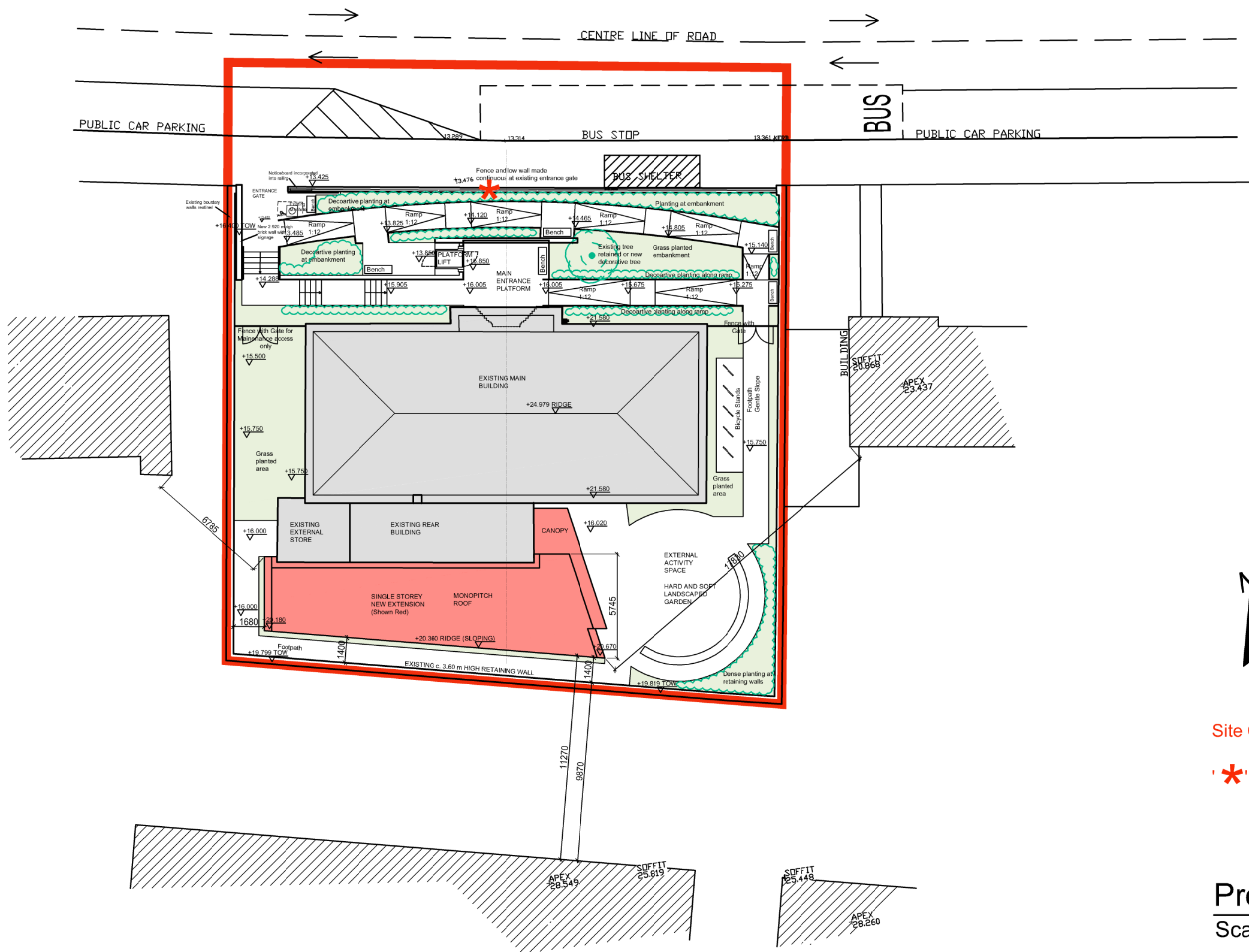
REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	



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	DRAWN: BK	JOB NO. DWG. NO.
	K:17001P	17001 P-001
DRAWING: SITE LOCATION MAP	Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie



Site Outlined in Red

' * ' indicates approx. location of Site Notice

Proposed Site Layout Plan

Scale 1:250 @ A3

ITM Grid Reference 712560, 733572

REVISIONS AFTER LAST PLOT:	

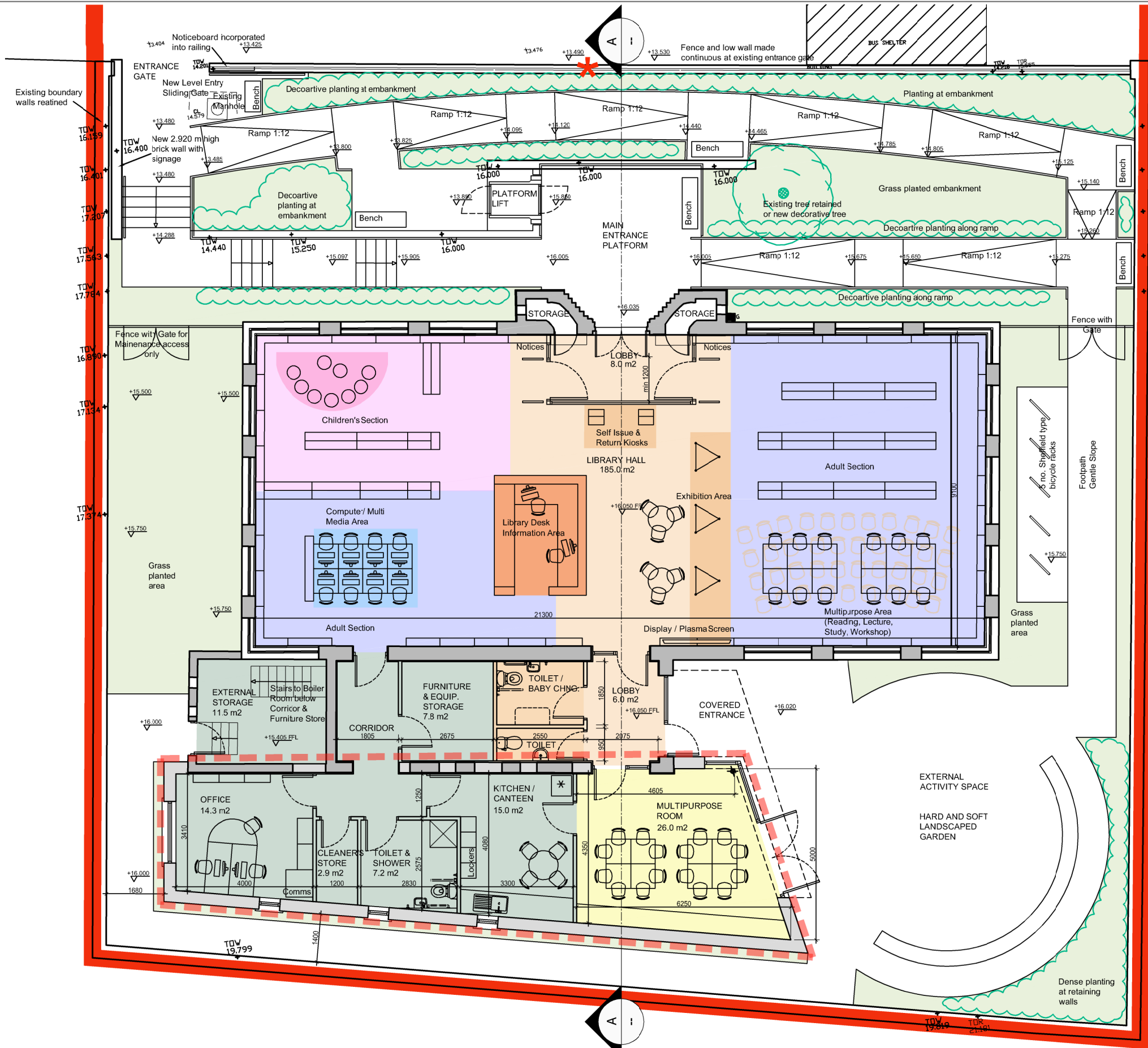
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PART 8

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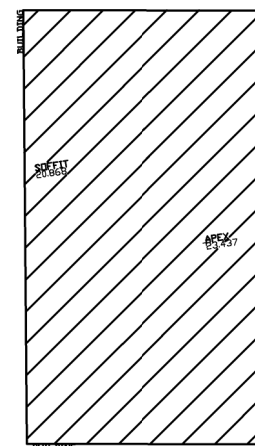
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	K:17001P	17001	P-002
DRAWING: SITE LAYOUT PLAN		Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	

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Legend

- Reception / Information
- Self Issue & Return Kiosk
- Exhibition Area
- Circulation Area
- Multi-Purpose Area (Reading, Study, Workshop, Lecture)
- Kids Section
- Storytelling
- Adult Section
- Computers & Multi-Media
- Public Toilets
- Staff Only Areas



Site Outlined in Red

'*' indicates approx. location of Site Notice

New extension outlined thus — — — — —

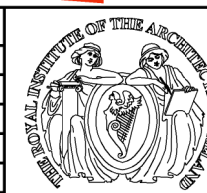
Proposed Ground Floor Plan

Scale 1:125 @ A3

REVISIONS AFTER LAST PLOT:

Stage:
PART 8

REVISIONS AFTER LAST PLOT:



PROJECT: Inchicore Library
34 Emmet Road, Dublin 8.
D08 ED66

DRAWING: GROUND FLOOR PLAN

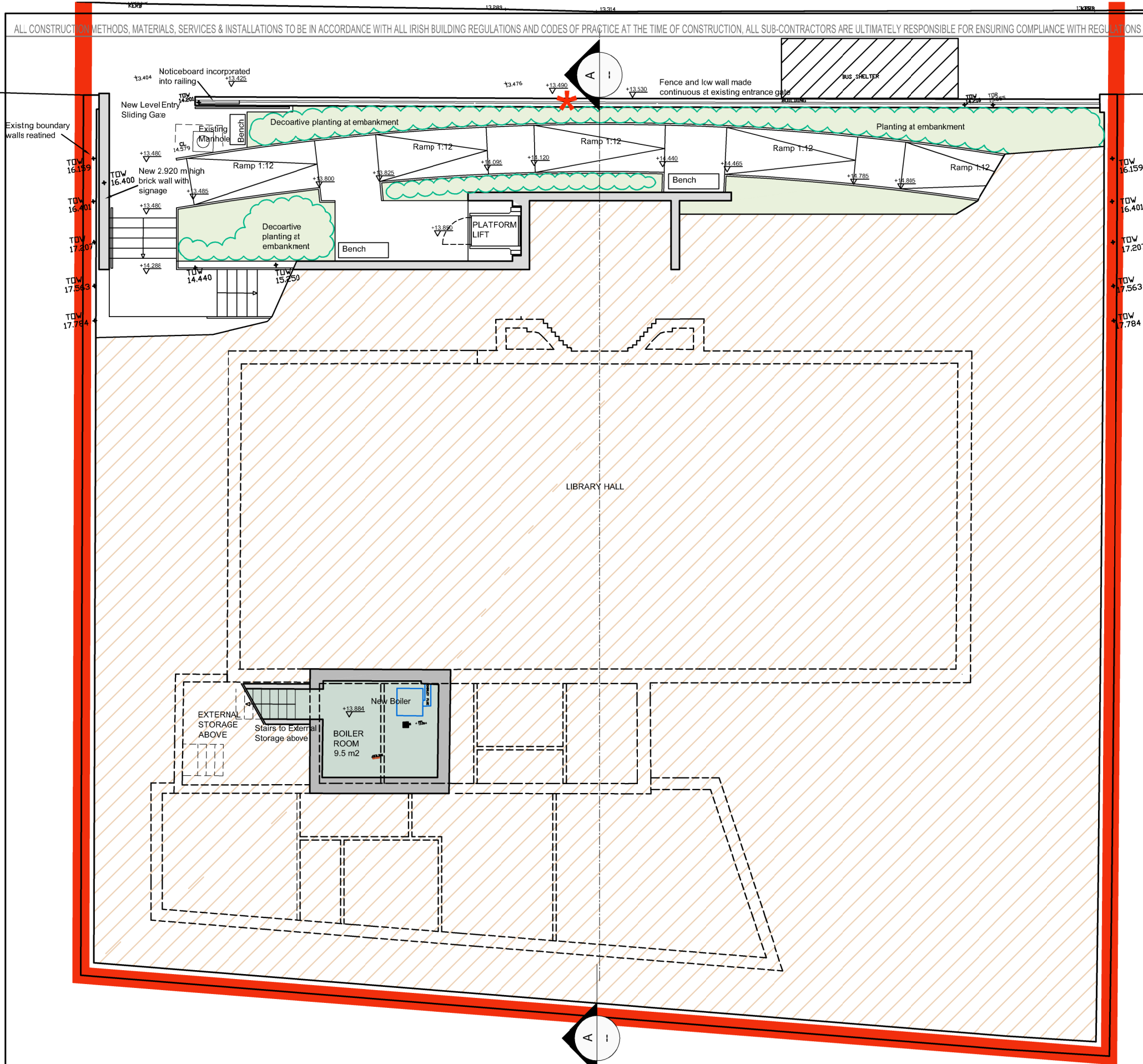
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ARCHITECTS & PROJECT MANAGERS

DATE: 03/09/18
DRAWN: BK
K:17001P

SCALE: 1:125 @A3
JOB NO. 17001
DWG. NO. P-003

Revision
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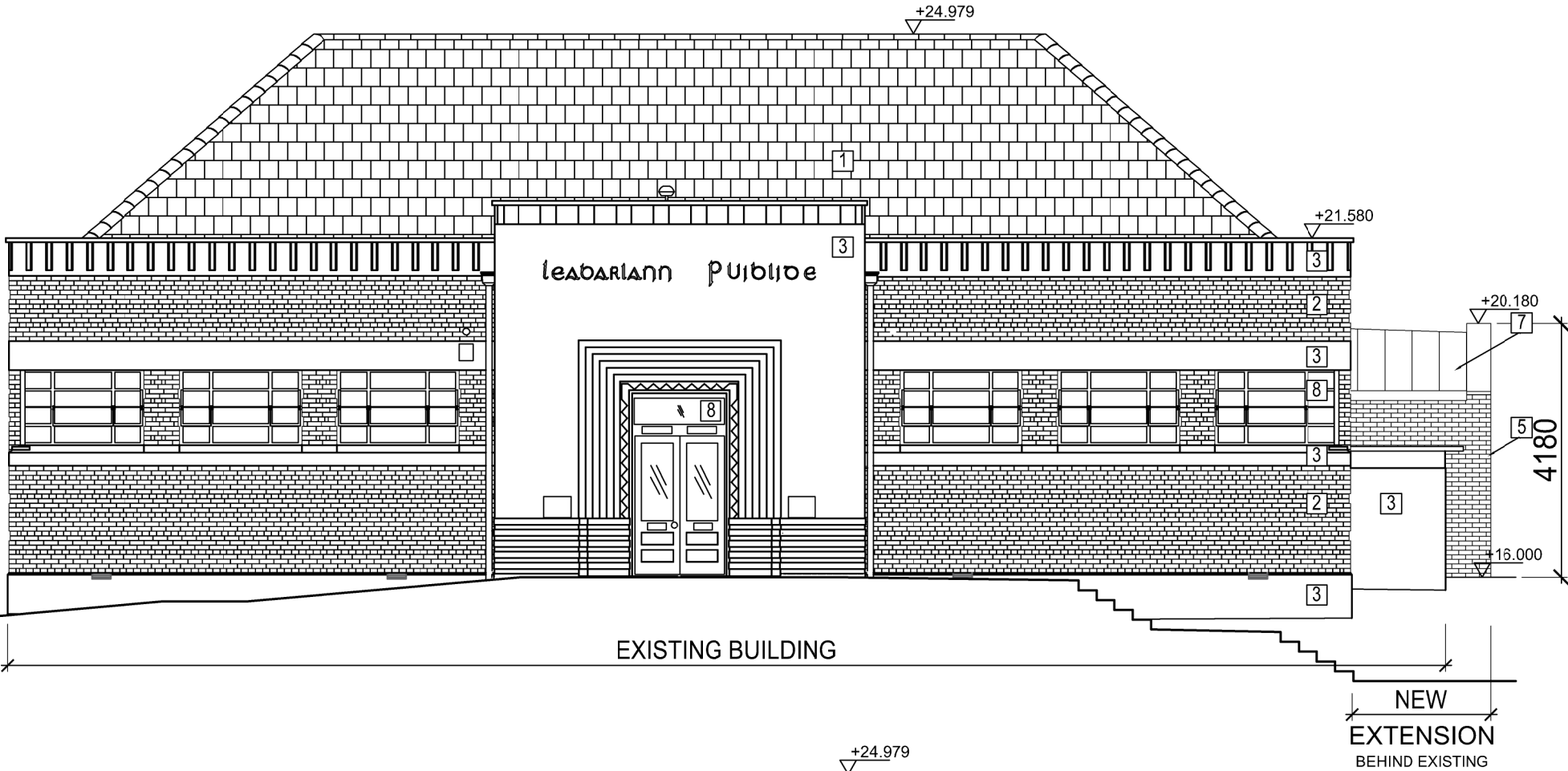


Legend
(Elevation materials)

1	Existing roof tiles cleaned/ repaired	24.00
2	Existing brick cleaned/ repaired	22.00
3	Selected painted render/concrete	20.00
4	Selected window & door system	
5	Selected brick cladding	18.00
6	Standing seam wall cladding	
7	Standing seam roof covering	
8	Existing door and windows retained / refurbished	16.00

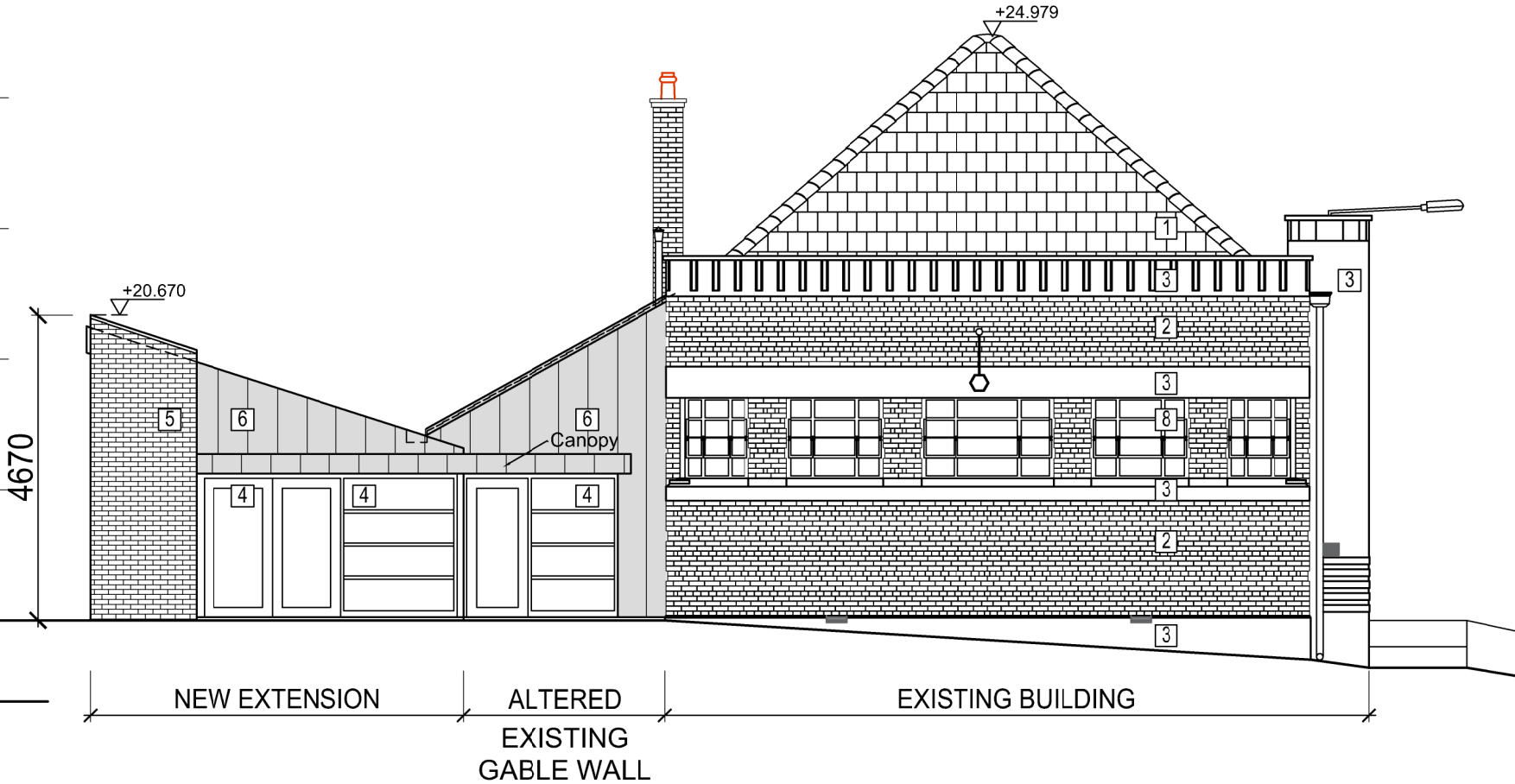
Proposed North Elevation

Scale 1:100 @ A3



Proposed East Elevation

Scale 1:100 @ A3



REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	



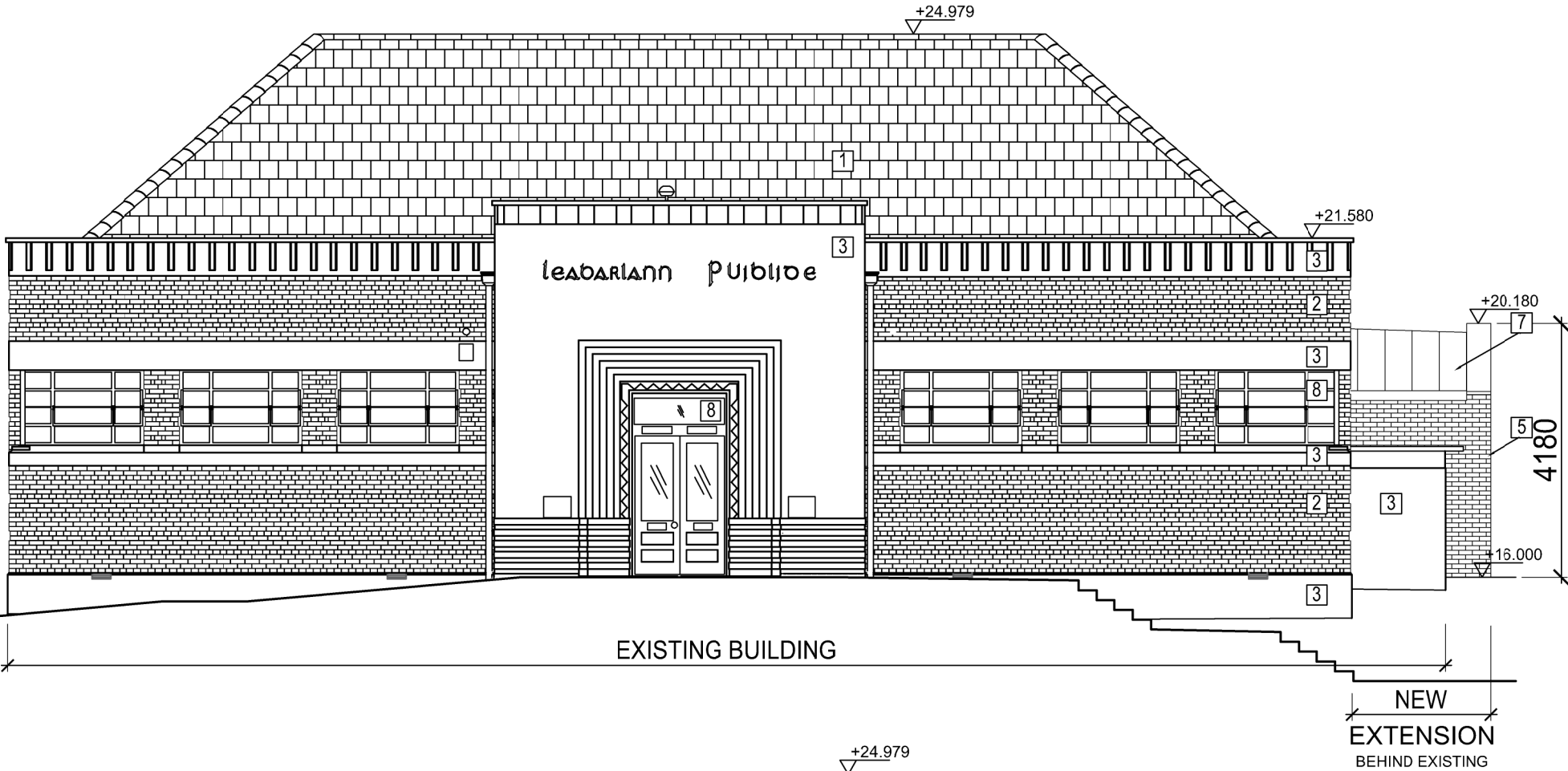
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DRAWING: ELEVATIONS	Revision	
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Legend
(Elevation materials)

1	Existing roof tiles cleaned/ repaired	24.00
2	Existing brick cleaned/ repaired	22.00
3	Selected painted render/concrete	20.00
4	Selected window & door system	
5	Selected brick cladding	18.00
6	Standing seam wall cladding	
7	Standing seam roof covering	
8	Existing door and windows retained / refurbished	16.00

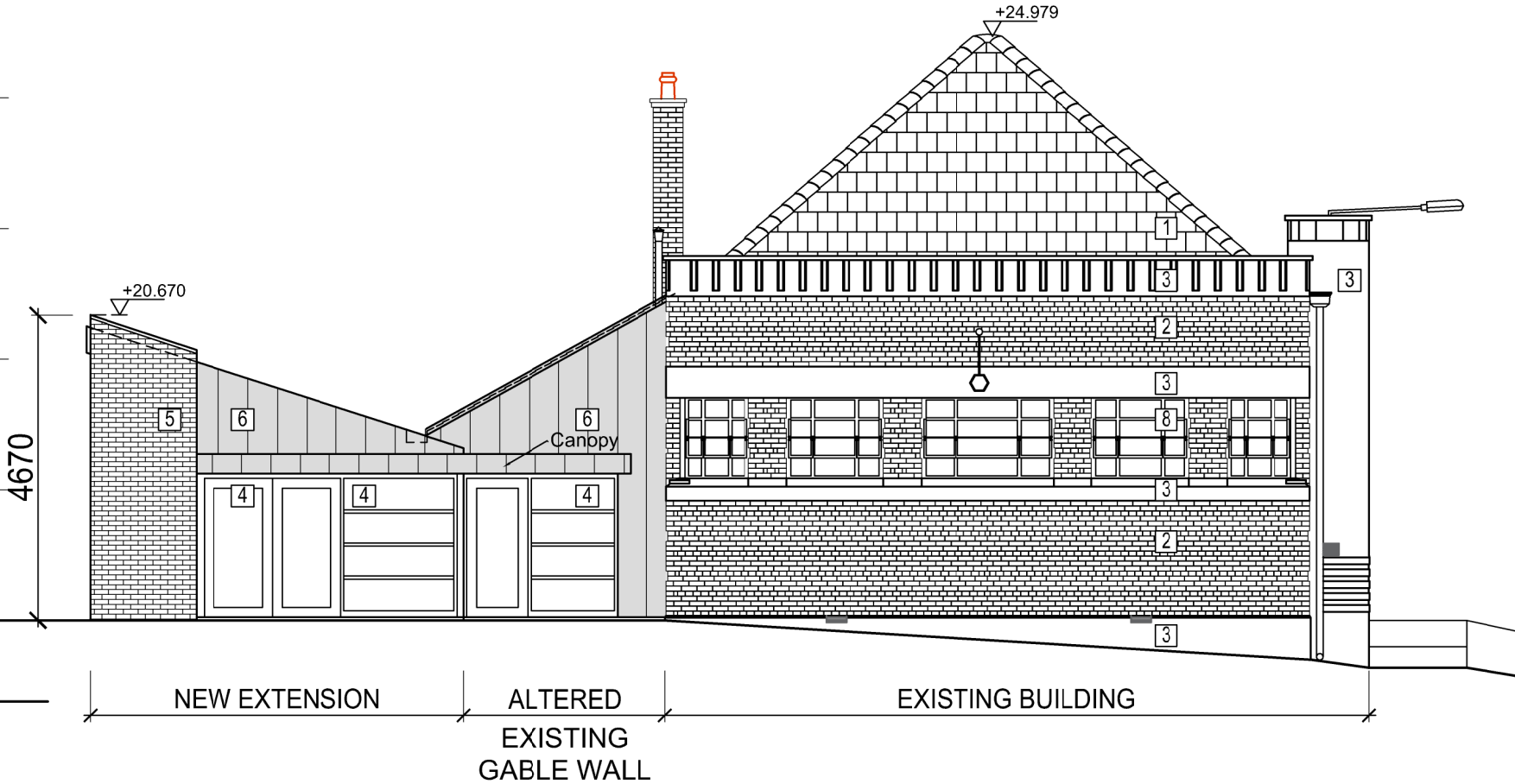
Proposed North Elevation

Scale 1:100 @ A3



Proposed East Elevation

Scale 1:100 @ A3



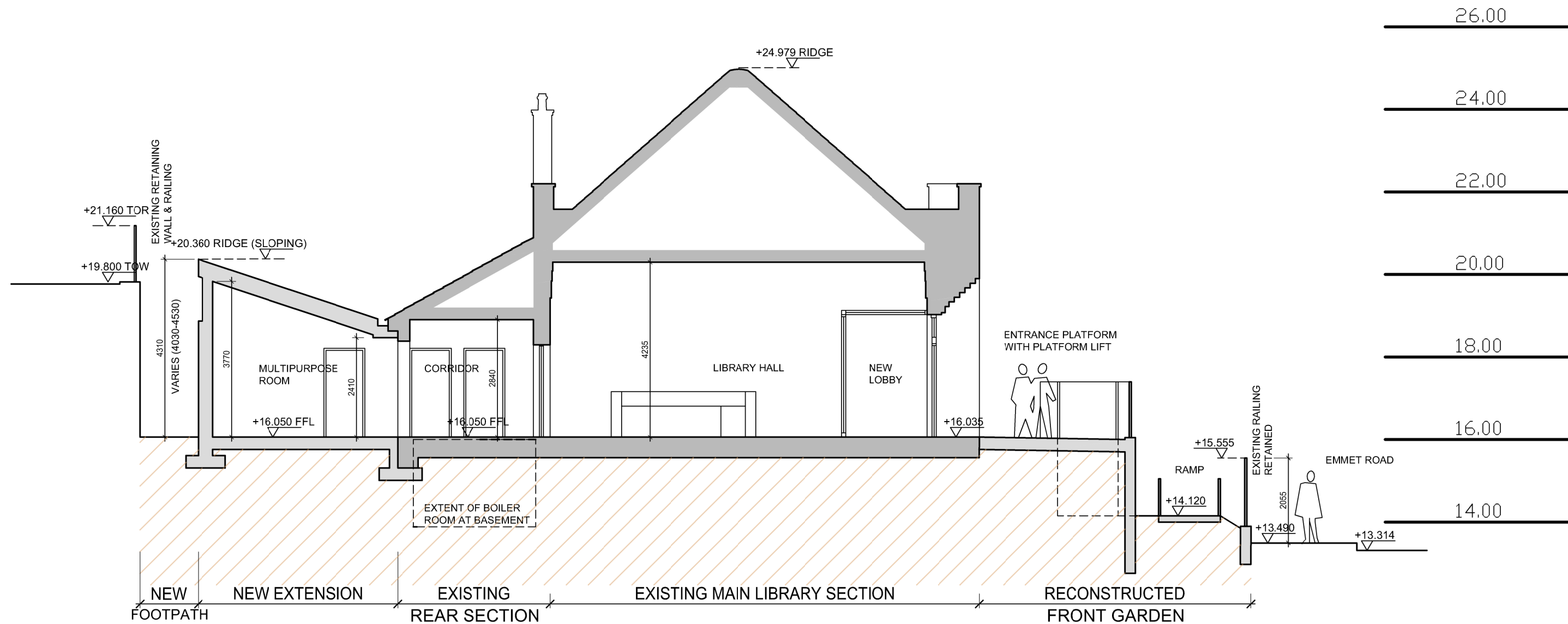
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PART 8

REVISIONS AFTER LAST PLOT:	



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DRAWING: ELEVATIONS	Revision	
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Proposed Section A-A
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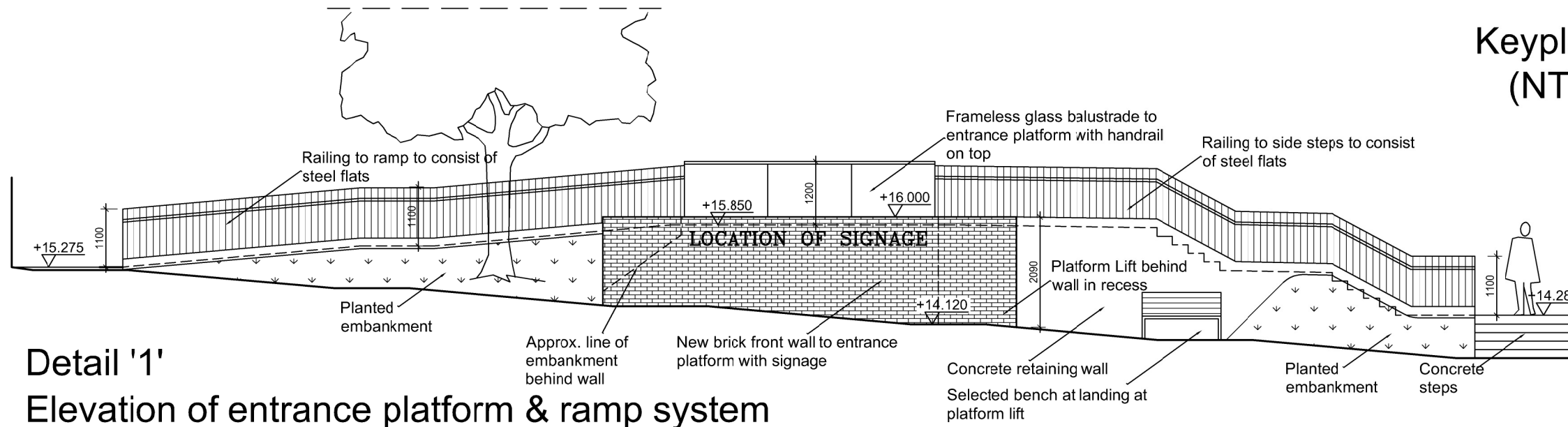
REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

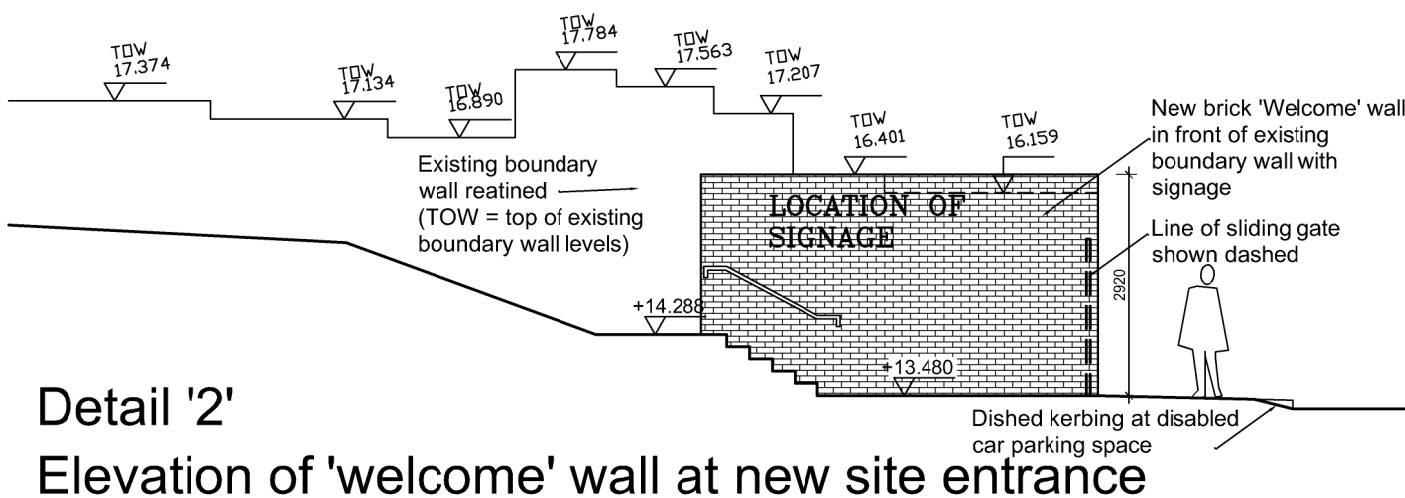
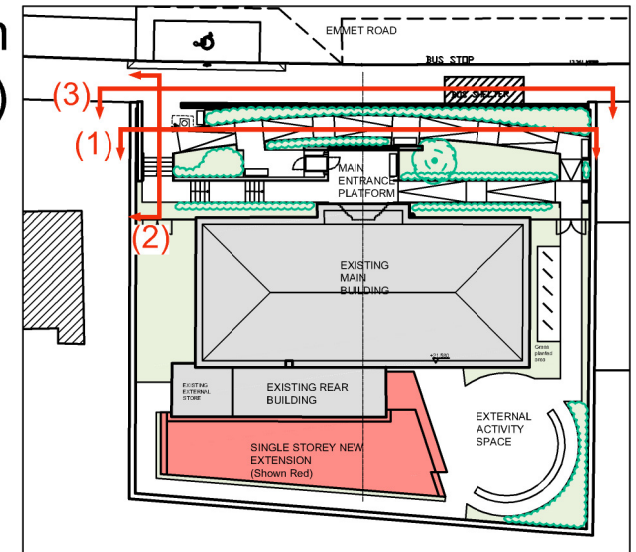
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	K\17001P	17001	P-007
DRAWING: SECTION A-A		Revision	
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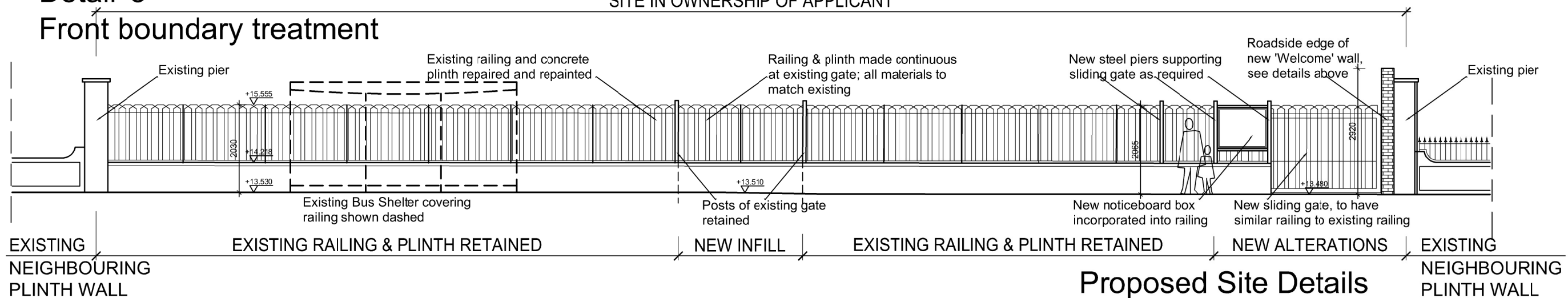
Keyplan (NTS)



Photos of existing railing and boundary walls

Detail '3'
Front boundary treatment

SITE IN OWNERSHIP OF APPLICANT



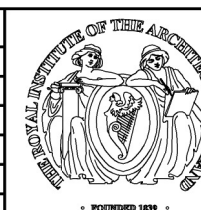
Proposed Site Details

Scale 1:100 @ A3

REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library
34 Emmet Road, Dublin 8.
D08 ED66

DRAWING: SITE DETAILS

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DATE: 14/05/18	SCALE: 1:100 @A3
DRAWN: BK	JOB NO. 17001
K17001P	DWG. NO. P-008
Revision	
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Front view from footpath at bus stop



Front view from footpath at new entrance



Aerial view of proposal showing new external accessibility measures



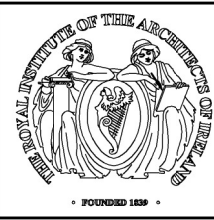
View of rear extension and yard

Artists's Impression of Proposal
NTS

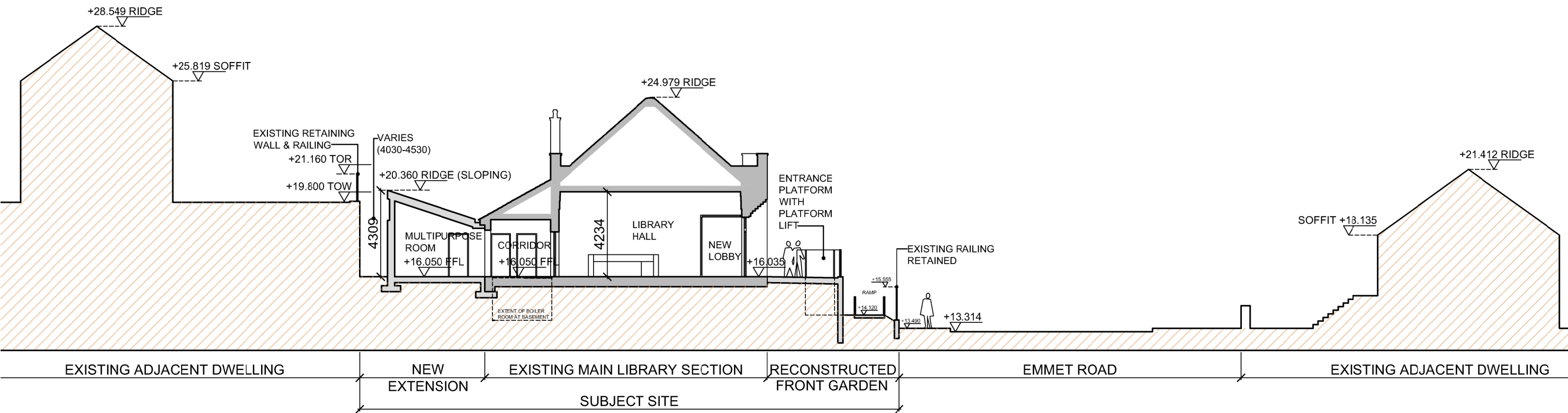
REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	



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DRAWING: ARTIST'S IMPRESSION OF PROPOSAL		Revision	
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Proposed Contextual Section A-A
Scale 1:200 @ A3

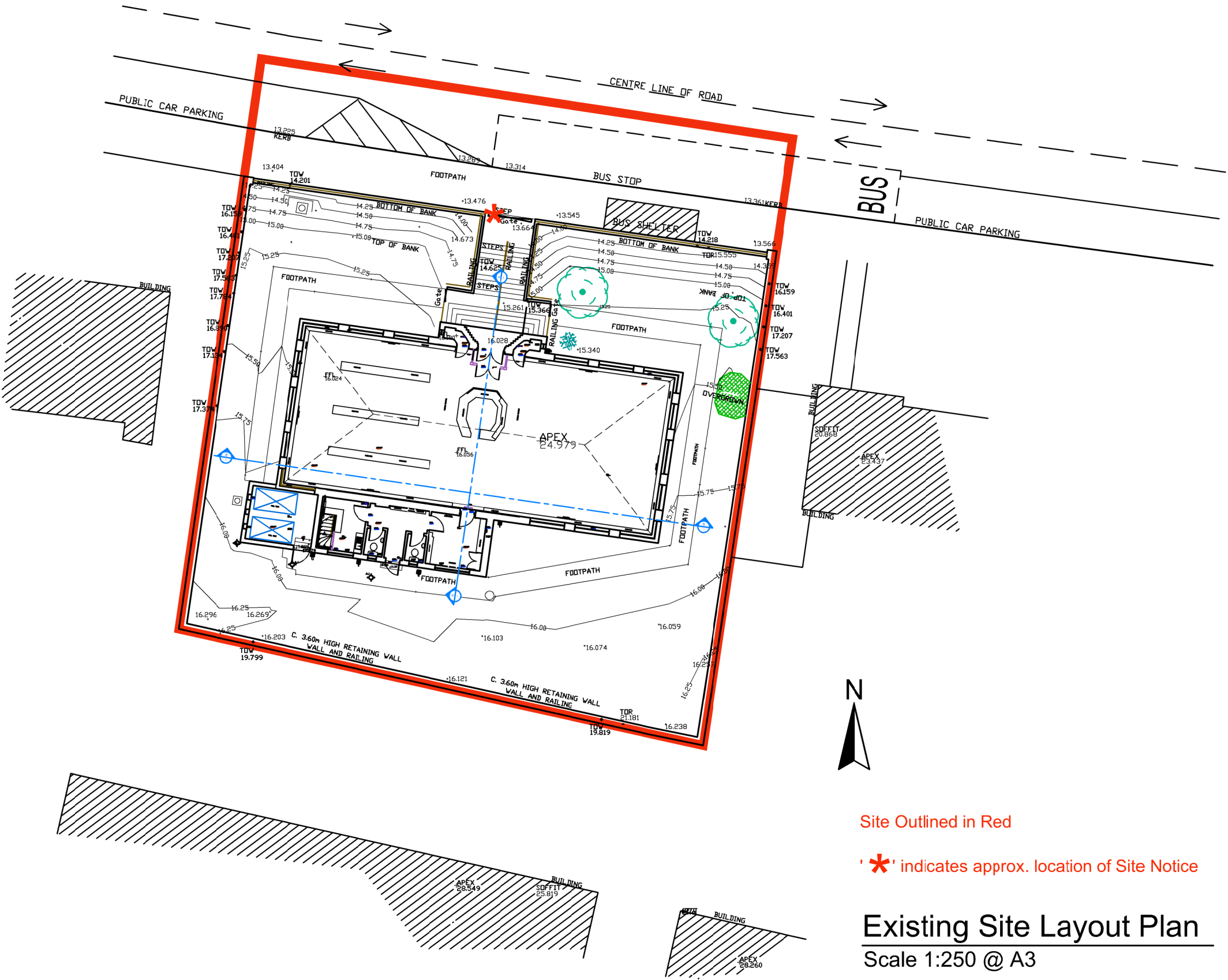
REVISIONS AFTER LAST PLOT:	

Stage:
PART 8

REVISIONS AFTER LAST PLOT:	



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	K:\17001\P			
DRAWING: Proposed Contextual Section A-A			Revision	
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Site Outlined in Red

'*' indicates approx. location of Site Notice

Existing Site Layout Plan
Scale 1:250 @ A3

REVISIONS AFTER LAST PLOT:	

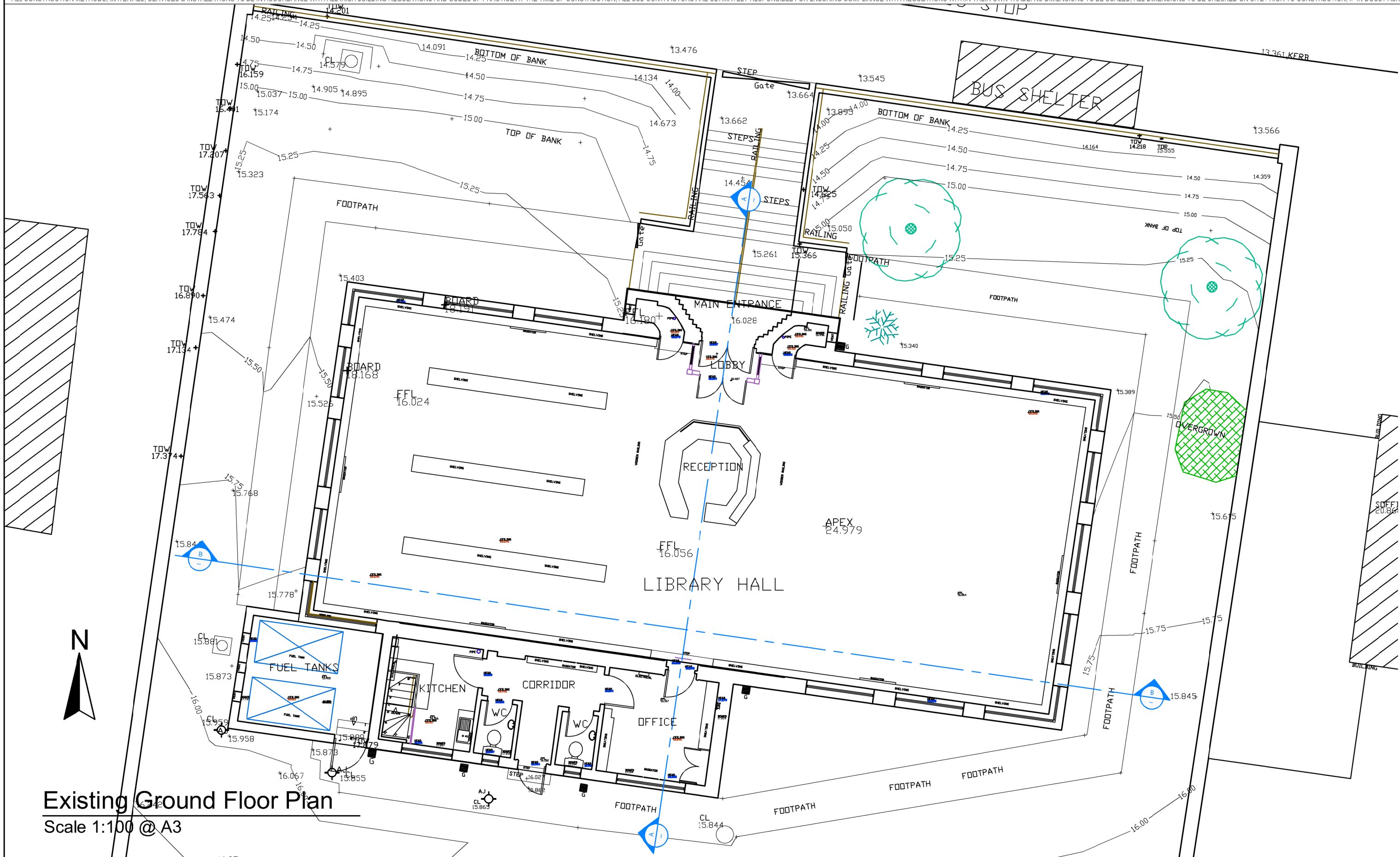
Stage:
SURVEY

REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 10/03/17	SCALE: 1:250 @A3	
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	K17001SK	17001	SV-001
DRAWING: EXISTING SITE PLAN		Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	

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Existing Ground Floor Plan

Scale 1:100 @ A3

REVISIONS AFTER LAST PLOT:	

Stage:
SURVEY

REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library
34 Emmet Road, Dublin 8.
D08 ED66

DRAWING: EXISTING GROUND FLOOR PLAN

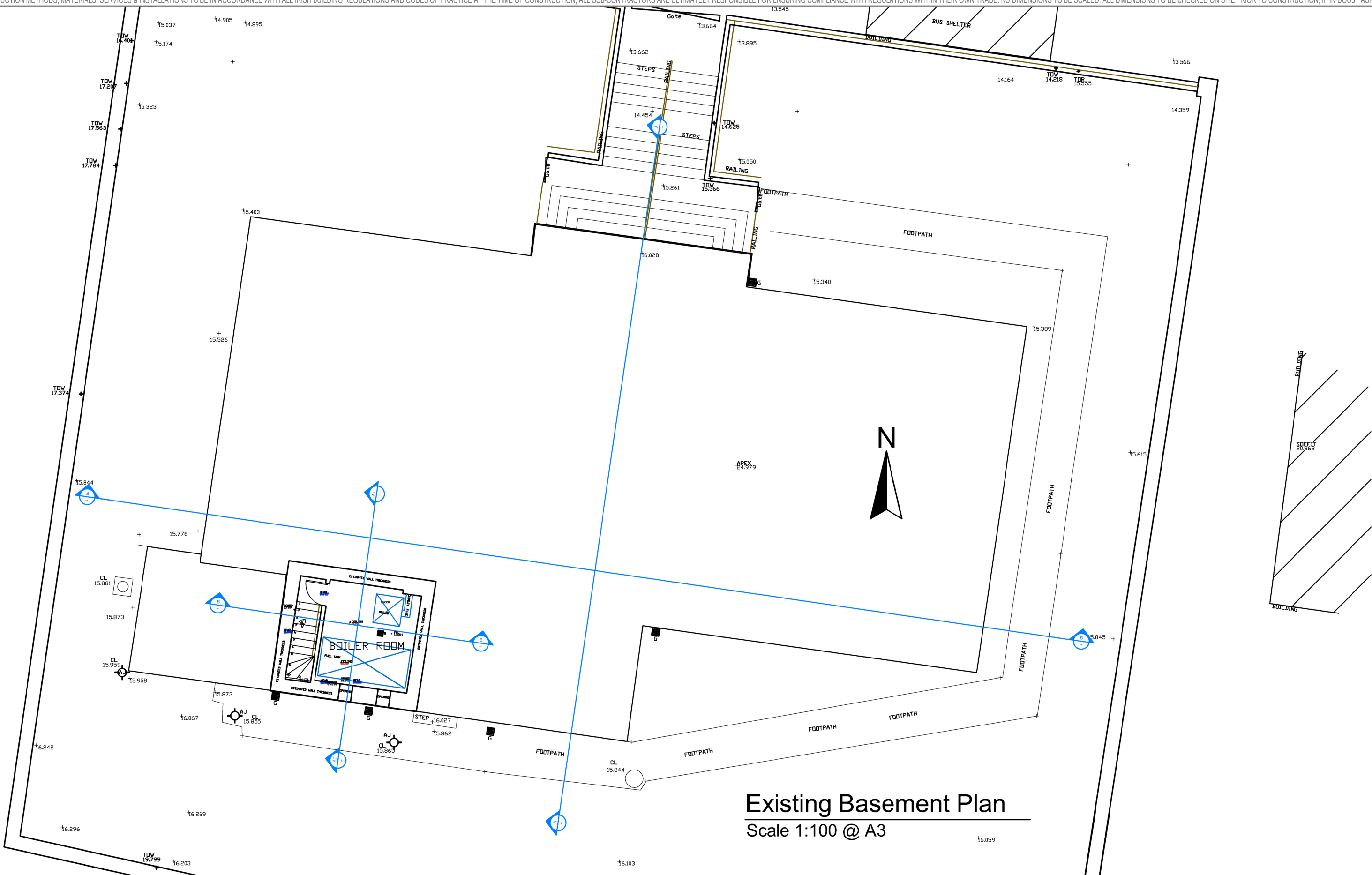
walsh associates
ARCHITECTS & PROJECT MANAGERS

DATE: 10/03/17
DRAWN: RN
K17001SK

SCALE: 1:100 @A3
JOB NO. 17001
DWG. NO. SV-002
Revision

Merchants House,
27-30 Merchants Quay, Dublin 8.
Tel: (01) 633 4261. Fax (01) 633 4265
Email: info@walshassociates.ie

ALL CONSTRUCTION METHODS, MATERIALS, SERVICES & INSTALLATIONS TO BE IN ACCORDANCE WITH ALL IRISH BUILDING REGULATIONS AND CODES OF PRACTICE AT THE TIME OF CONSTRUCTION, ALL SUB-CONTRACTORS ARE ULTIMATELY RESPONSIBLE FOR ENSURING COMPLIANCE WITH REGULATIONS WITHIN THEIR OWN TRADE. NO DIMENSIONS TO BE SCALED, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION, IF IN DOUBT ASK !



Existing Basement Plan
Scale 1:100 @ A3

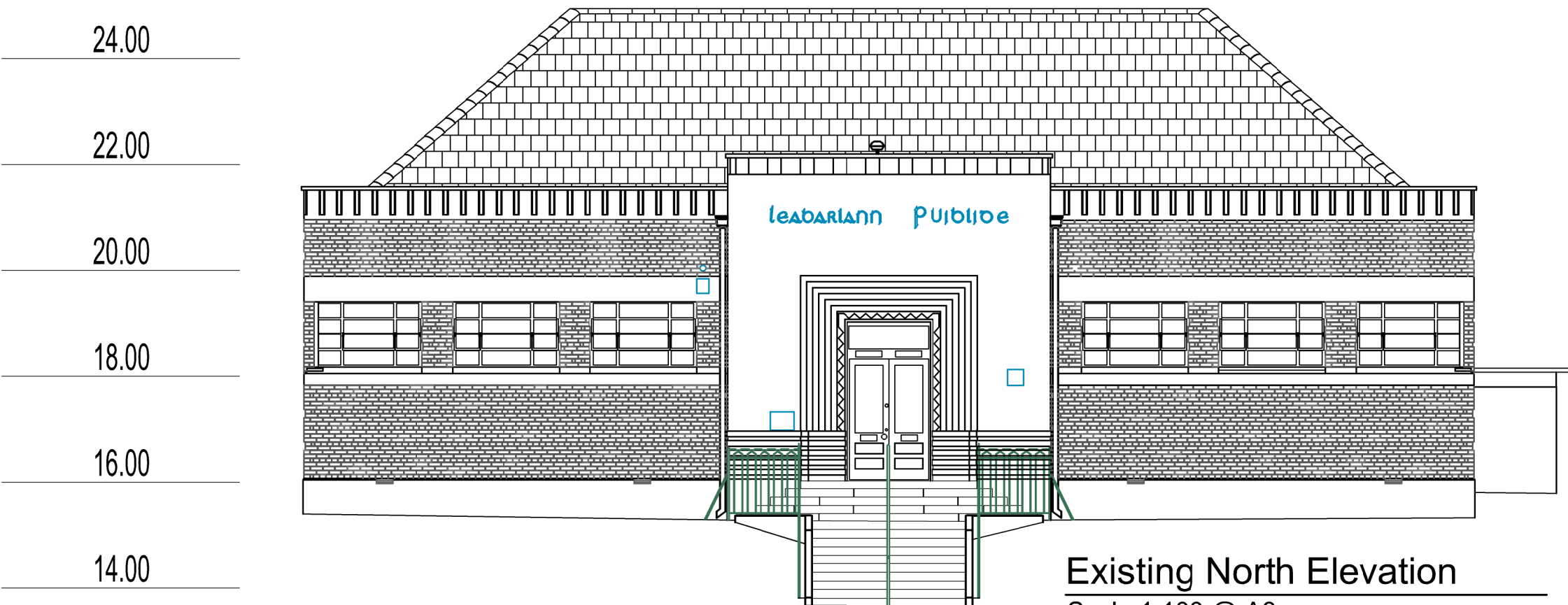
REVISIONS AFTER LAST PLOT:	

Stage:
SURVEY

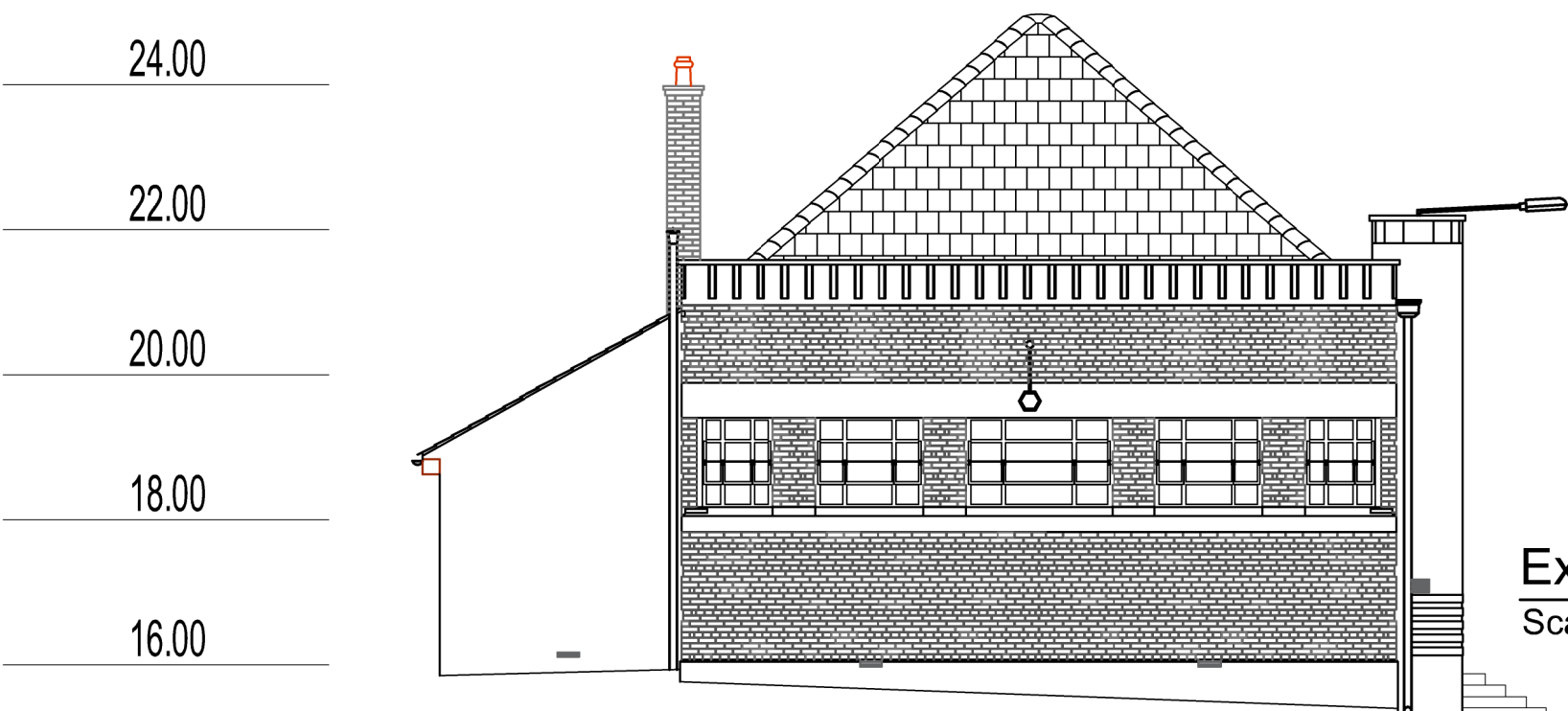
REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 10/03/17	SCALE: 1:100 @A3	
	DRAWN: RN	JOB NO.	DWG. NO.
	K17001SK	17001	SV-003
DRAWING: EXISTING BASEMENT		Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	



Existing North Elevation
Scale 1:100 @ A3



Existing East Elevation
Scale 1:100 @ A3

REVISIONS AFTER LAST PLOT:	

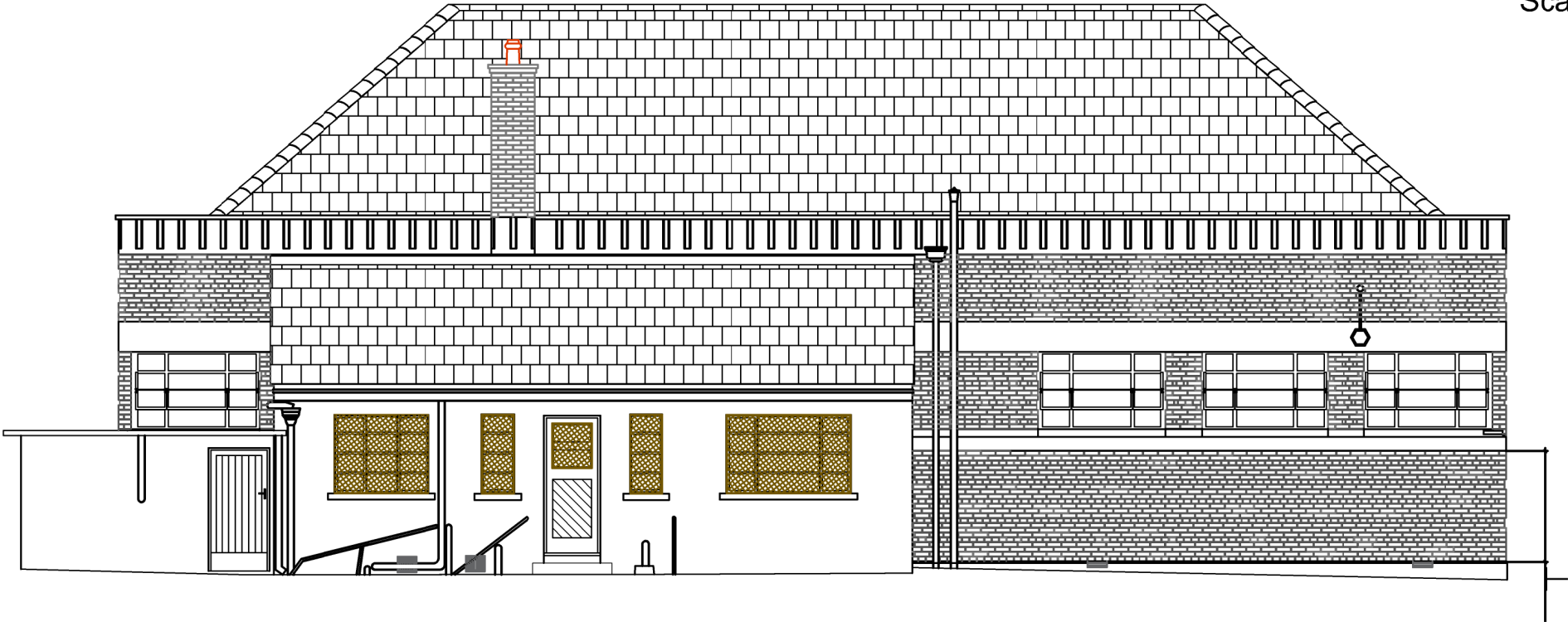
Stage:
SURVEY

REVISIONS AFTER LAST PLOT:	



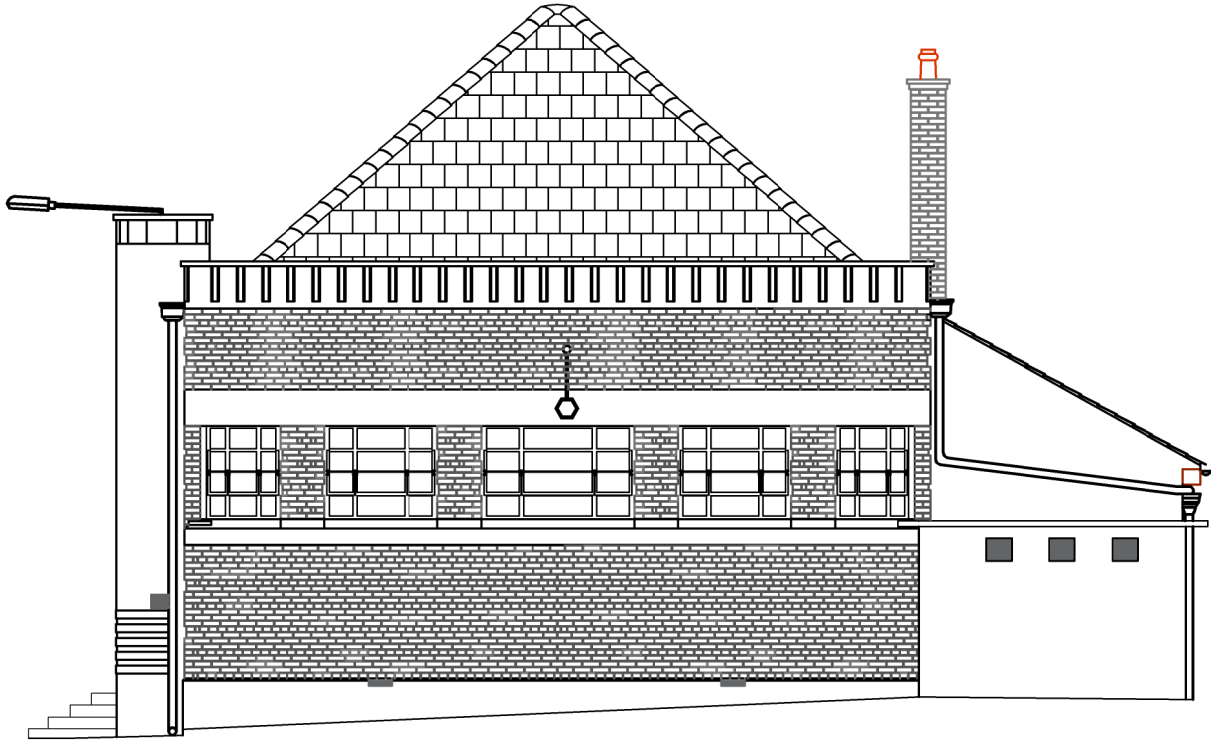
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	DRAWN: RN	JOB NO.	DWG. NO.
	K\17001\SK	17001	SV-004
DRAWING: EXISTING N & E ELEVATIONS		Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	

Existing South Elevation
Scale 1:100 @ A3



26.00
24.00
22.00
20.00
18.00
16.00

Existing West Elevation
Scale 1:100 @ A3



REVISIONS AFTER LAST PLOT:	

Stage:
SURVEY

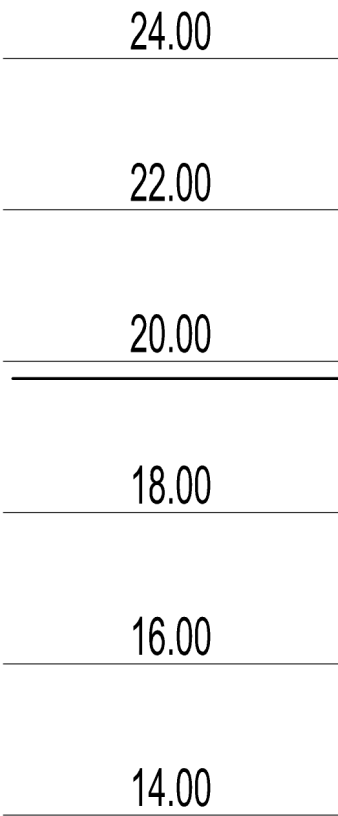
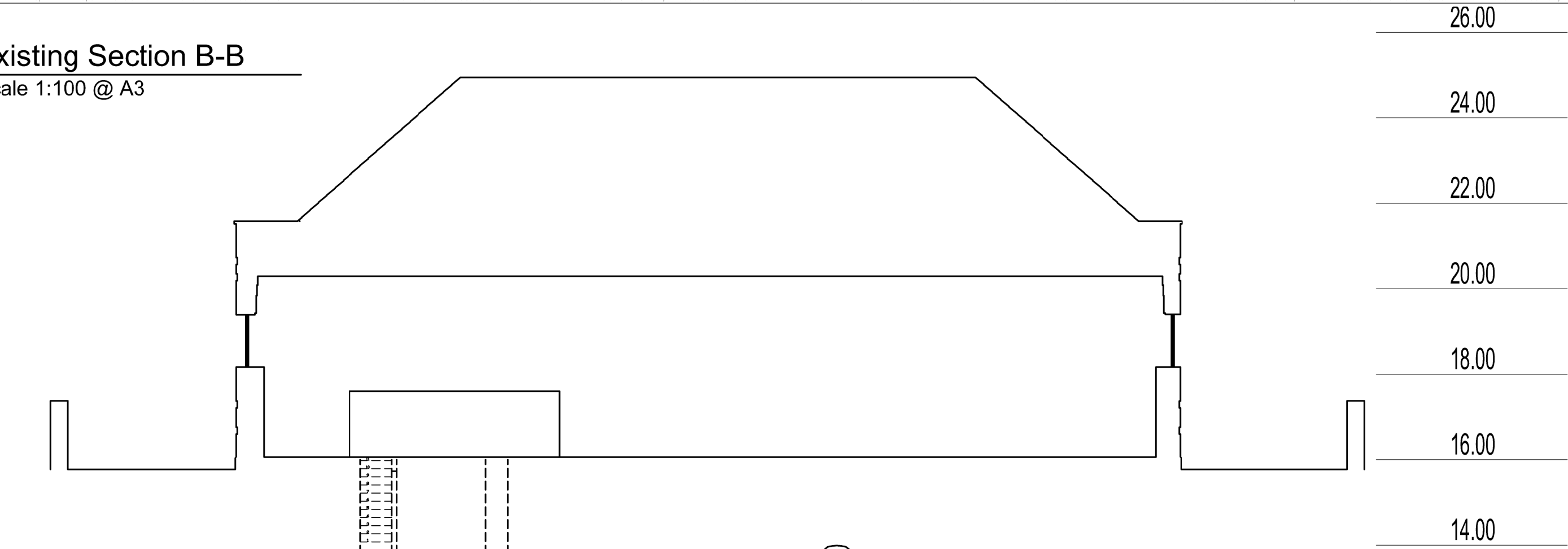
REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 10/03/17	SCALE: 1:100 @A3	
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	K\17001\SK	17001	SV-005
DRAWING: EXISTING S & W ELEVATIONS		Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	

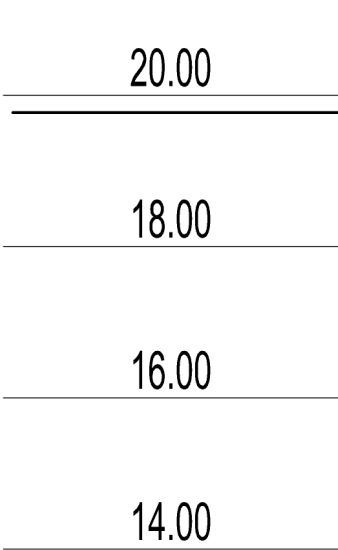
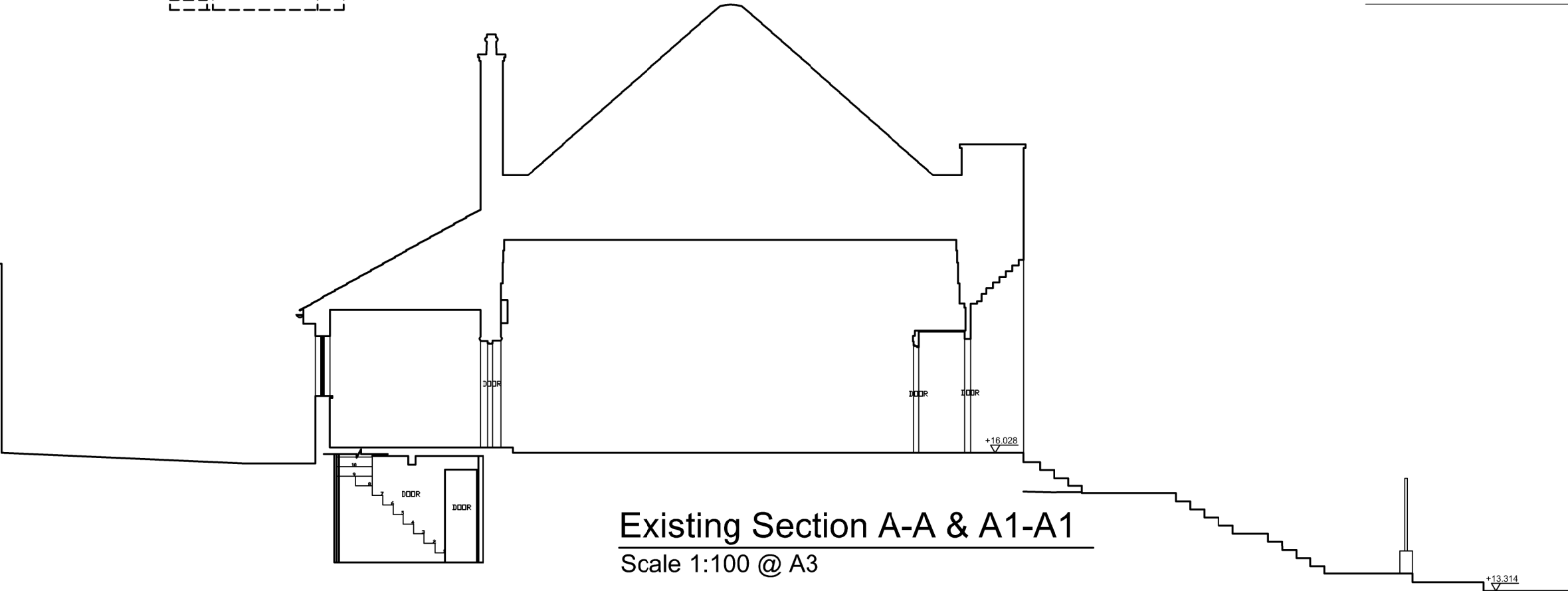
Existing Section B-B

Scale 1:100 @ A3



Existing Section A-A & A1-A1

Scale 1:100 @ A3



REVISIONS AFTER LAST PLOT:	

Stage:
SURVEY

REVISIONS AFTER LAST PLOT:	



PROJECT: Inchicore Library 34 Emmet Road, Dublin 8. D08 ED66	DATE: 10/03/17	SCALE: 1:100 @A3	
	DRAWN: RN	JOB NO.	DWG. NO.
	K:\17001\SK	17001	SV-006
DRAWING: EXISTING SECTIONS		Revision	
walsh associates ARCHITECTS & PROJECT MANAGERS		Merchants House, 27-30 Merchants Quay, Dublin 8. Tel: (01) 633 4261. Fax (01) 633 4265 Email: info@walshassociates.ie	