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ARCHITECTS

SOCIAL HOUSING BUNDLE 5 – DEVELOPMENT AT BASIN VIEW

ARCHITECTURAL DESIGN STATEMENT

for

Dublin City Council

7th October 2024

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1. INTRODUCTION

This design report was prepared by Coady Architects on behalf of the National Development Finance Agency (NDFA) and Dublin City Council, to accompany a Part 8 proposal for development described as follows in the public notices:

The construction of 171 apartments at a site of c.1.64 ha at Basin Street Flats, Basin View, Dublin 8. The site is bounded by Basin Grove and St. James Primary School to the south; Luas light rail line and St. James' Hospital campus to the west, Basin Street Lower/Ewington Lane and Mary Aikenhead House Flats to the north and Basin View Street/ Brandon Terrace to the east; which will consist of the following:

- The demolition of four existing Basin Street Flats residential blocks; Building 1 (nos. 20-43), Building 2 (nos. 44-67), Building 3 (nos. 68-91) and Building 4 (nos. 92-115), ancillary structures, boundary walls and railings and site clearance works and renovation of one existing Basin Street Flats block (Building 5 nos. 116-151)
- Construction of 171 no. apartment units in three apartment blocks (Block A, Block B and Block C) comprising 171 residential units (83 no. 1-bed, 71 no. 2-bed, 13 no. 3-bed and 4 no. 4 beds);
 - Block A ranges from 4- 8 storeys with 48 units (17 no. 1-bed, 28 no. 2-bed, 3 no. 3-bed)
 - Block B ranges from 4 -8 storeys with 81 units (28 no. 1-bed, 39 no. 2-bed, 10 no. 3-bed, 4 no. 4 bed)
 - Block C is 5 storeys (renovation block) with extension to western gable with 42 units (38 no. 1-bed, 4 no. 2-bed)
- 382 bicycle parking spaces.
- 55 car parking spaces, which includes provision of 51 residential and 4 non-residential car parking spaces (2 creche and 2 community, arts and cultural car parking spaces).
- Provision of a childcare facility of 294 sq. m. at ground floor of Block A.
- Provision of 1114 sq. m. community, cultural and arts space comprising 516 sq. m. internal space at ground floor of Block B and 598 sq. m. external space, which includes a 468 sq. m. amphitheatre, and 130 sq. m. space located externally at Block B.
- Relocation of public open space to a new central area of 3767 sq. m. (in place of Oisín Kelly Park) and 2748 sq. m. of communal open space.
- Two vehicular access/ egress points are proposed from Brandon Terrace/ Basin View Street and from Basin Street Lower/ Ewington Lane.
- Existing bollards and line marking fronting Wee Tots Creche Pre-School and Fountain Youth Project at building 2A Basin Lane along Basin View/ Brandon Terrace to be removed and replaced with paving, extension of kerb and flexible bollards.
- Boundary treatments, landscaping and public realm works, public lighting, site drainage works, new internal road layout, traffic calming raised table and pedestrian crossing points, footpaths, ESB substation and meter rooms, stores, bin and cycle storage, plant rooms; and
- All ancillary site services and development works above and below ground.

The multi-disciplinary project team for this project is as follows:

- Development Agency: National Development Finance Agency
- Architects & Design Team Lead: Coady Architects
- Project Manager: Turner Townsend
- Planning Consultants: MacCabe Durney Barnes/ HRA Planning
- Civil & Structural: Malone O'Regan Consulting Engineers
- Services Engineers: Semple & McKillop Consulting Engineers
- Landscape Architects: Mitchells & Associates
- Ecology: NM Ecology
- Arborist: Charles Mc Corkell

In support of this Architectural Design Statement, and as per the requirements of Dublin City Council's Development Plan 2022-2028 (DCCDP), the following have been provided:

As Appendices of this report:

- Accessibility (UD Apartments)
- Community Safety Strategy

As standalone documents:

- Housing Quality Assessment – Coady Architects
- Building Management/Lifecycle Report – Coady Architects
- Daylight and Sunlight Assessment – Digital Dimensions
- Operational Waste Management Plan – Traynor Environmental
- Wind Microclimate Modelling – B-Fluid
- Demolition Justification Report – Semple McKillop Consulting Engineers
- Resource & Waste Management Plan - Conviro



Figure 1: proposed view of blocks A & B from Oisín Kelly Park

2. SITE LOCATION

2.1 Site Location

The proposed development is located on the site of the existing Basin View Flats complex. The site is in the Liberties on the south side of Dublin city centre, directly to the east of St James's Hospital. The Luas Red Line runs along the western boundary.

Beyond the immediate site context is the Irish Museum of Modern Art and Guinness St James's Gate brewery to the north, the Guinness Storehouse to the east and the construction site of the National Children's Hospital to the west.

In addition to proximity to the Luas stops at James's and Fatima, the site has good public transport links with several adjacent Dublin Bus routes.

The site is an established residential community well served by with educational, community/sporting, creche, retail, healthcare, amenities, and local facilities in its vicinity. It is ideally located to meet the principles of the 15-minute City as envisaged in the Dublin City Development Plan 2022-2028.



Figure 2: Aerial view of site with application boundary outlined in red.

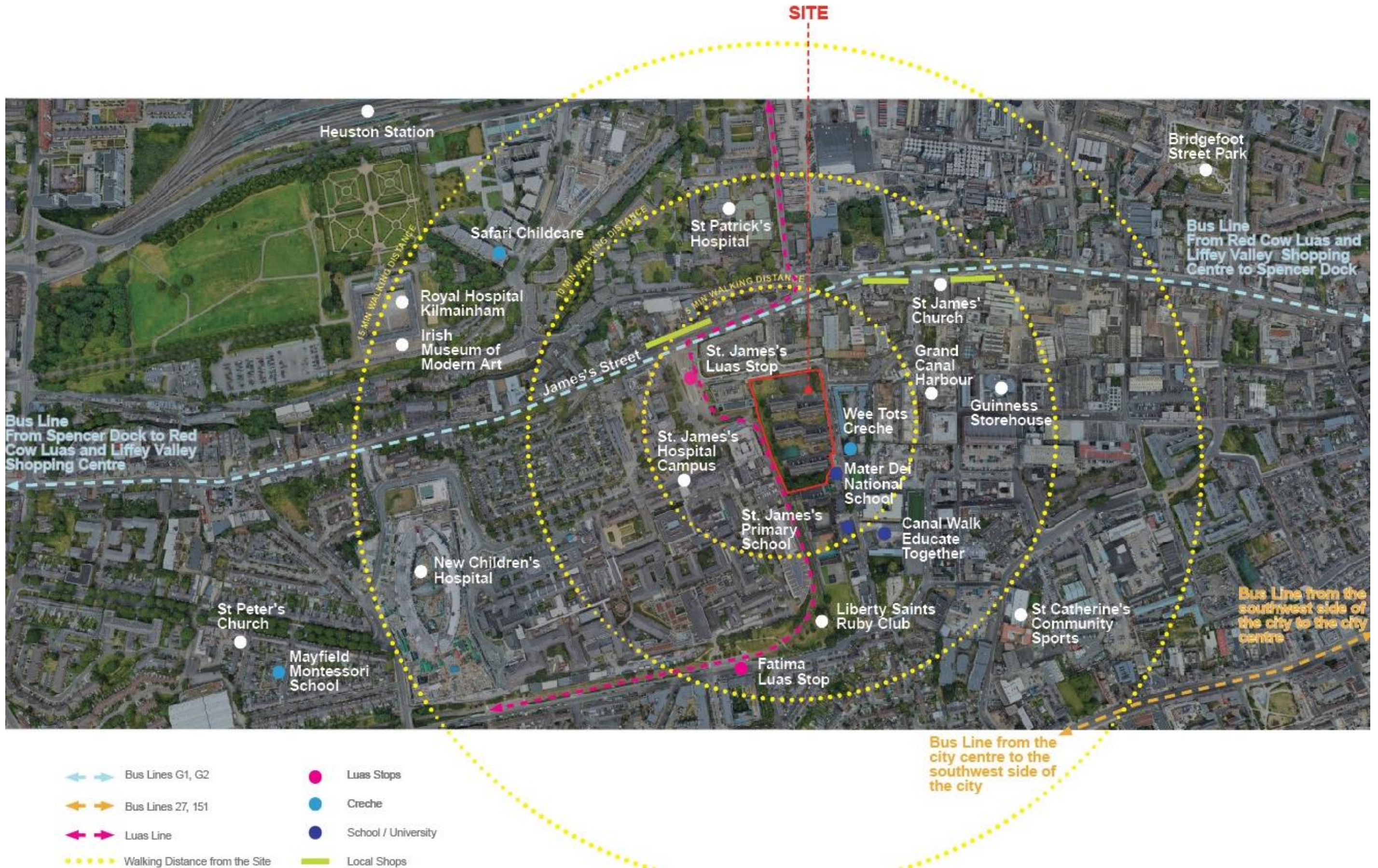


Figure 3: site location map with wider urban context.

2.2 Site Description

The application site is currently split between two distinctive zones. The smaller north zone is the existing 'Oisín Kelly Park'. It comprises of a grassed area with children's play equipment to the west and a fenced off hardcourt to the east. The overall area is in a poor state of repair and exhibits the effects of antisocial behaviour.

The larger southern zone is occupied by 5 no. apartment blocks, constructed c. 1967, all 5 storeys in height containing a total of 115 units, split between 10 no. unlettable bedsits, 17 no. amalgamated one beds and 88 no. 3 bed duplexes. Record survey drawings of all the existing buildings are included within this application. The blocks have been numbered 1 to 5 for reference purposes.

These brick clad apartment blocks are typical of their time with tiled pitched roofs, large overhanging concrete eaves, gallery access and recessed balconies. Each block is served by a single central staircore and there are no lifts for the existing residents.

The blocks are laid out in a stepped plan arrangement on the site, with primary facades set back from the northern and southern boundary and gables ends addressing the east and western boundaries.

Between the blocks are internal roadways and surface parking, two small children's play spaces, a disused basketball court, and grassed areas.

There is a strong line of existing trees along the southern boundary with further smaller clusters to the western and northeastern boundaries.

This site is bounded to the north, on the opposite side of Ewington Lane and Basin Street, by the 4 storey Mary Aikenhead House flat complex. These attractive flat roofed brick and render buildings, design by Herbert Simms and constructed between 1935-45, have distinctive overhanging eaves, curved recessed balconies on the corners at Basin Street Lower and projecting balconies to the primary facades. They are recorded as having regional significance on the National Inventory of Architectural Heritage (Ref nos. 50080302 and 50080343).

Immediately beyond the trees to the southern boundary is a surface carpark and the two-storey courtyard buildings of St James's Primary School. Opposite the primary school on Brandon Terrace is CBS James's Street

The southeastern corner is bounded by the Basin Grove apartments, a 4-storey brick, render and glass block contemporary building on Brandon Terrace. This building is separated by a shallow external yard and passageway from the brick gable of Block 5. Further south on Brandon Terrace are 2 no. two storey own door access dwellings.

The eastern site boundary runs along Brandon Terrace with 2 and 3 storey dwellings forming the building line directly on the inner line of public path on the opposite side of the street. The building line steps back at the southern end of Brandon terrace forming a play space to Wee Tots Creche and Preschool.

The Luas Red Line runs parallel to the western boundary. Further west is the 2 and 3 storey Central Pathology Laboratory and Irish Blood Transfusion Service buildings on the St James's Hospital Campus. The 2 and 3 storey hospital mortuary building abuts the north eastern corner of the site.



Figure 4: birds eye view of site with proposed application boundary outlined in red

2.3 Existing Context



Figure 5: view of Mary Aikenhead House Flats on Basin Street Lower

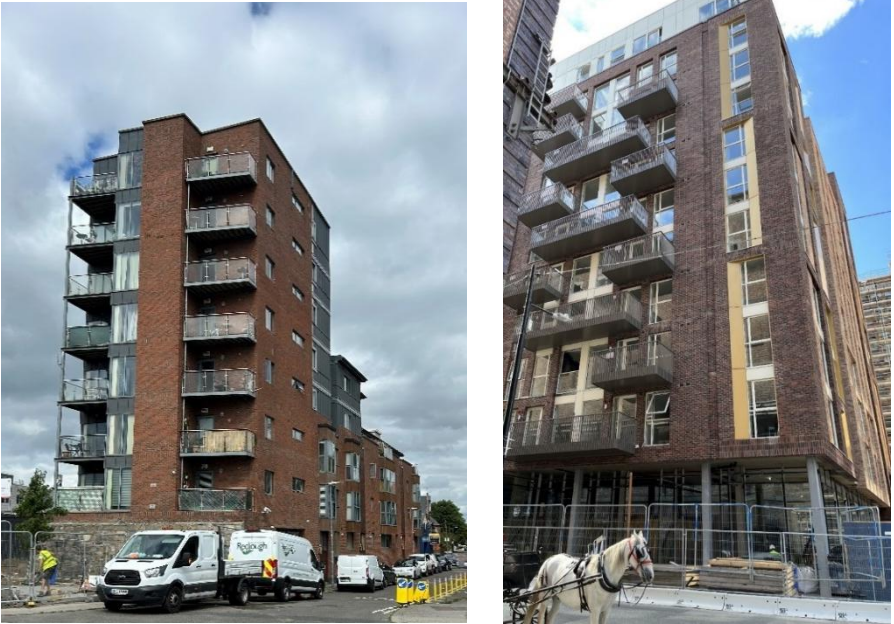


Figure 8: view of the 'Hops' apartment block on Brandon Terrace & Grand Canal Harbour' apartment blocks.



Figure 11: view across existing Oisín Kelly Park towards Block 2 and St James's Hospital.



Figure 6: view of dwellings on Brandon Terrace at existing Oisín Kelly Park



Figure 9: view down Luas tracks along western boundary towards mortuary building



Figure 12: view of Luas tracks at St James's Hospital Mortuary



Figure 7: view north along Brandon Terrace towards application site



Figure 10: view down James Street towards the existing Oisín Kelly Park.



Figure 13: view south along Brandon Terrace

2.4 Historical Context

The Basin View flats complex is named after the reservoir that was once located on the site. The original reservoir, known as the city basin was constructed c. 1670. Because of the construction of earth and stone works to facilitate the water supply, the surrounding area became affectionately known as the “Back of the Pipes”.

A significant increase in the population of Dublin in the late 17th and early 18th century and the corresponding demand for water prompted the construction of the City Basin off James’s Street. Its location probably directed the choice of the end of the Grand Canal adjacent to it, completed in 1785. The canal would serve to keep water flowing to the basin, and hence to the city. Eventually, the supply of water from the canal was inadequate and unsafe. This supply to the City Basin ceased in 1869, and the new high-pressure water supply from the Vartry scheme came into use.

In the 18th century the Basin was a fashionable resort for the citizens, who went there to ‘take the air’. The approach to the Basin was an ornamental arch at the end of Basin Lane. Coaches and sedans set down ladies and their escorts in the finery of the time. They passed under the arch and saw before them a long stretch of water, with pleasant walks, garden seats and music being played by a band. Concerts and fireworks displays regularly occurred.

A guide to the city in 1835 reported that:

The City Basin is the pleasantest, most elegant, and sequestered place of relaxation the citizens can boast of; the reservoir, which in part supplies the city with water, is mounded and terraced all round, and planted with quickset hedges, limes, and elms, having beautiful green walks between, in a situation which commands a most satisfactory prospect of a vast extent of fine country to the south. The entrance is elegant, by a lofty iron gate, and the water that supplies it, is conveyed from the neighbouring mountains.

A History of the City of Dublin Volume 2 (1859) by Sir John Thomas Gilbert provides this description:

“Its distinction as a reservoir to supply an extensive city with water rendered it necessary to give its surface as great an elevation as was consistent with moderate expense; for this purpose it is supported by a firm embankment of earth several feet higher than the adjacent fields, on the summit of which is a walk, bounded on both sides by quick-set hedges, judiciously kept low not to interrupt the view, while the outer fence is planted with elms, still in a good state of preservation, with their branches expanded so as to intertwine with each other and form graceful arches; and these, from the moisture of the soil, are clothed in spring and summer with luxuriant verdure, they add much to the beauty of this charming scene. The form of the basin is a parallelogram, 1210 feet in length and 225 to 250 feet in breadth. The entrance is by a neat iron gate from Basin Lane and Pig Town, the latter appropriately so called, from being perpetually infested with those animals, and forming by its filth a strong contrast to the salubrious air and cheerful tranquillity of the scene within.”

The first edition OS map and the 25” map shows the site marked as city basin and was in use as a reservoir for drinking water. This dated to the 19th century.

The basin was infilled in the 1960s and 70s along with the harbour and the Dublin City Council flats were constructed on the site c. 1967.

The entrance to the basin was originally entered through a classical stone gateway with an ornate ironwork gate first depicted in 1728 by Charles Brooking on his illustrated map of Dublin. This gateway was salvaged by Desmond Guinness in the 1960’s, when the site was being redeveloped. It currently stands at Lexlip Castle where it was reconstructed as a garden feature.

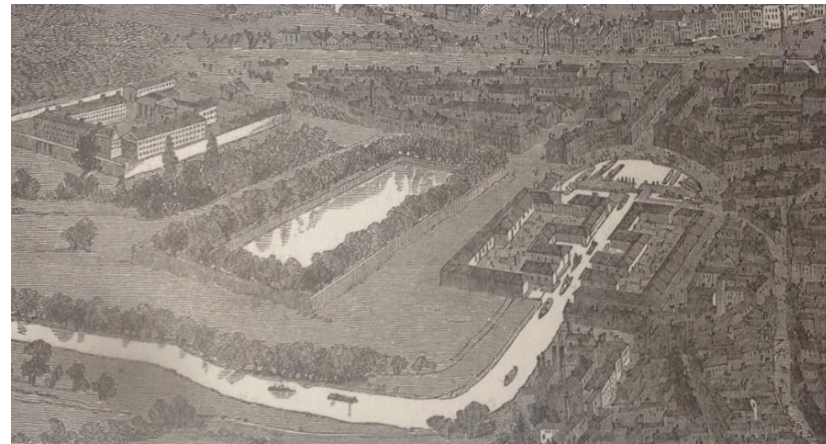


Figure 14: City Basin and Grand Canal Harbour, Illustrated London News, 1846, and reproduced in Cullen (2015). The South Dublin Union Workhouse is visible to the west.



Figure 15: First edition Ordnance Survey of Ireland map of area south of James’ St. (Map: OSi)



Figure 16: Section of aerial photograph (A. Guinness & Co. 1933) City Basin before infilling (From britainfromabove.org.uk, Ref. XPW042243)

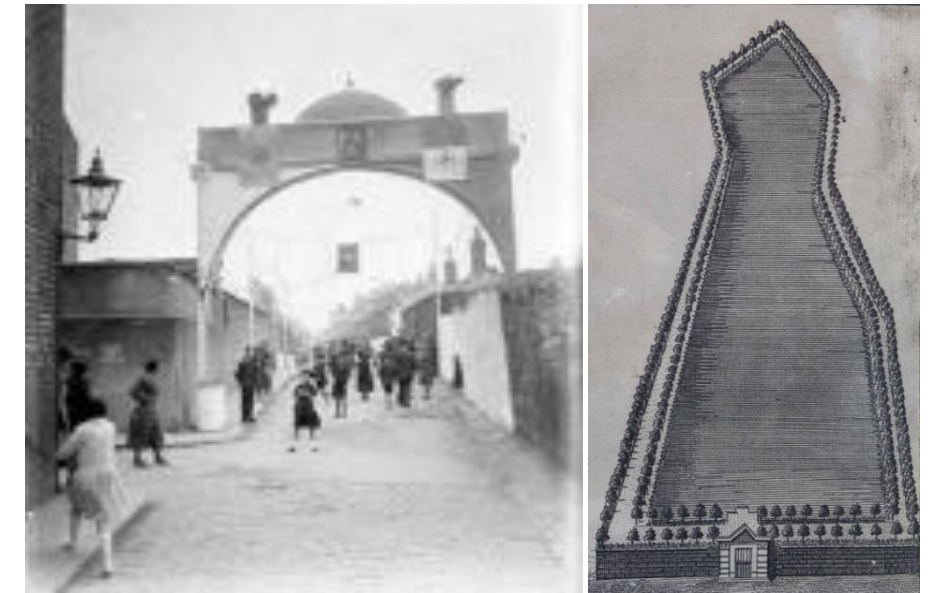


Figure 17: Ornamental Arch, Basin Lane

Figure 18: The City Basin as depicted on Brooking’s ‘A Map of the City and Suburbs of Dublin’ 1728



Figure 19: Basin View Flats under construction.

References:

Fountain Resource Group - A Snippet of Dublin History (Part 8) – Basin Street Harbour, Sept 2014.

<https://www.frg.ie/local-history/a-history-of-the-grand-canal-harbour-basin-lane/>

Wide and Convenient Streets - Tag Archives: Basin View February 2015.

<https://wideandconvenientstreets.wordpress.com/tag/basin-view/>

2.5 Brief

The residential brief as developed with Dublin City Council is based on the Housing Need Demand Assessment for the area and a feasibility study carried out by Dublin City Council City Architects Division in September 2021. Refer to Section 3.11 of this report for further details of the 'Basin View Estate Renewal Proposal'.

It was envisaged that the site could accommodate 103 to 174 units in a mix of 1,2 and 3 bed apartments, dependant on the extent of demolition/new building against the retention and retrofitting of the existing buildings.

This application for 171 units is at the higher end of this range and comprises the construction of two new apartment blocks to the north of the site and the retention and deep retrofit of the largest existing block to the south of the site.

This strategy is an efficient use of a brownfield city centre site in line with the aims and objectives of the City Development Plan and 'Sustainable Residential Development and Compact Settlements - Guidelines for Planning Authorities'.

All units are proposed for social tenants. Affordable units are not proposed for this site. This brief results in a net density of 149 uph when the Z9 lands and the public roads of Ewington Lane, Basin Street and Brandon Terrace are excluded from the application boundary.

Location	Total	1 bed 2P	2 bed 4P	3 bed 5P	4 bed 7P
Block A (new build)	48	17	28	3	0
Block B (new build)	81	28	39	10	4
Block C (deep retrofit)	42	38	4	0	0
Total	171	83	71	13	4
Mix	100%	48.5%	41.5%	7.6%	2.4%

Figure 20: Brief mix of residential units.

The proposed development is located within the Strategic Development Regeneration Area Liberties and Newmarket Square 15 and the gross development area is greater than 10,000m². Therefore the 5% Community, Arts and Culture requirement (Objective CU025 of the Development Plan), is applicable. The Community, Arts and Cultural spaces are described in detail in Section 8.

As the proposed development is above 75 'dwellings' (one-bedroom units are excluded for the purposes of calculation), a child-care facility has been included within the brief. The proposed childcare provision is described in detail in Section 9.

Details of existing child-care facilities in the surrounding area can be found in the Social Infrastructure Audit prepared by MacCabe Durney Barnes.



Figure 21: view from James Street, down Basin Street Lower towards Blocks A & B.

3. CONTEXT AND SETTING

3.1 Zoning

The site area is zoned Z1 Sustainable Residential Neighbourhoods and Z9 Amenity/ Open Space Lands/ Green Network. The site was rezoned in 2023 with the variation to the Development Plan adopted by Dublin City Council on 4th September 2023. The Z9 area was relocated from the north to the central area of the site.

The purpose of the variation was to allow a new design and footprint for the housing, and a re-positioning of Oisín Kelly Park so that it serves better the residents of the regenerated housing and the wider public within the community. This re-positioning also allows for a less disruptive approach to the regeneration of the site, by facilitating construction in a phased manner. The size of both Z9 plots are almost identical; and the change does not result in the loss of any Z9 lands to this area. The variation ensures that the open space provided is significantly upgraded and will provide a high-quality amenity space for the community.

This application is in accordance with the current site zoning.

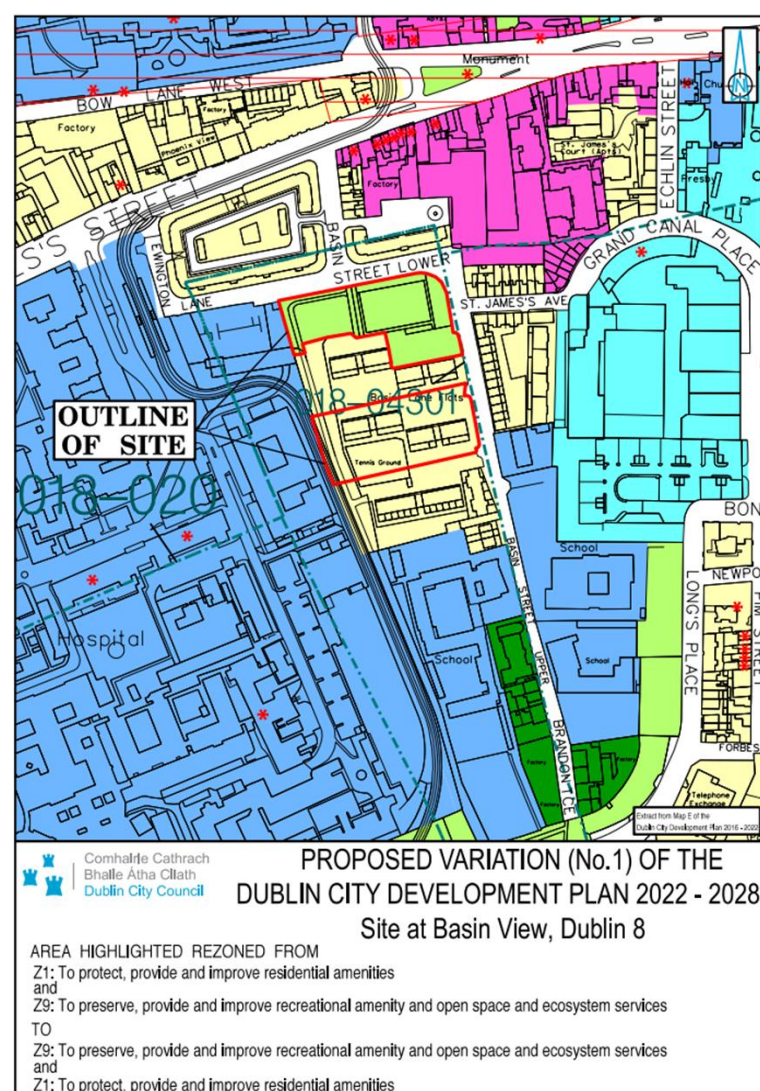


Figure 22: DCC Development Plan Map accompanying zoning variation.

3.2 Strategic Development Regeneration Area

The site is located in Strategic Development Regeneration Area (SDRA) 15 Liberties and Newmarket Square. SDRA 15 recognises that significant opportunities for regeneration and enhancement existing in the area. The development proposal in this application is one such opportunity and is in harmony with the guiding principles of SDRA 15:

Urban Structure

- To create a hierarchy of public open spaces including civic squares and parks, throughout the Liberties that are attractive, multi-functional, safe, welcoming, and accessible to local residents, workers and visitors.
- To support the regeneration of large blocks in order to provide the opportunity to improve the human scale of the existing urban structure.
- To reinforce a sense of place and identity by promoting the development of distinctive character areas as indicated on the Guiding Principles Map.

Land Use & Activity

- To recognise the need for community uses and public spaces to complement the emerging development in recent decades.

Height

- To support 6-8 storeys as a benchmark height for new developments in the SDRA area where conservation and design considerations permit

Design

- All new apartment buildings are encouraged to have own-door access for all dwellings at ground floor level to contribute to increased vitality and activation of the area.

Green Infrastructure

- To ensure that the public open space provision of development sites be sited at locations that are visible, accessible, and inviting to the wider public.

Movement and Transport

- To facilitate the delivery of the permeability interventions identified in the Guiding Principles Map which seek to increase accessibility throughout the area.
- To support the pedestrian connection linking Oisín Kelly Park at Basin View with St James's Linear Park.

The development proposal also aligns with the guiding principles for **Character Area 7 – St James's Harbour**

- This area has considerable regeneration potential with both private and public land holdings of considerable scale. Connectivity and green infrastructure initiatives, as identified, are required in order to improve the amenity for existing and future residents and to better integrate the area with its adjoining institutions and neighbourhoods.
- In this area, base heights should be 6-8 storeys, where heritage, built form character and residential amenity considerations allow.

A tabulated response of the proposed development to the objectives common to all SDRA's is contained in the Planning Statement prepared by MacCabe Durney Barnes.

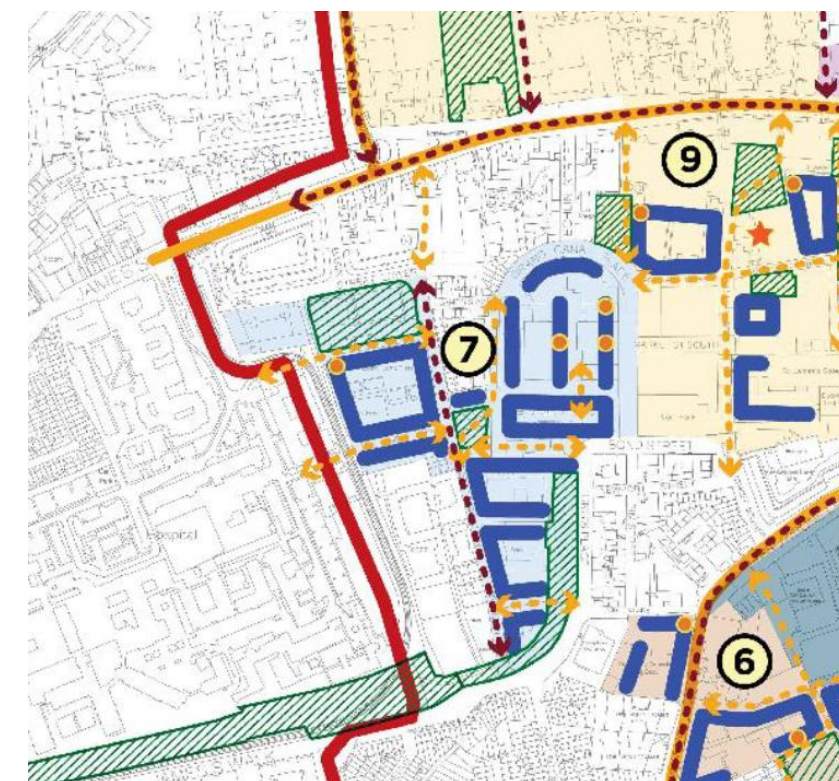


Figure 23: extract from Figure 13 – 15: SDRA 15 Liberties and Newmarket Square.

SDRA 15 Liberties and Newmarket Square Guiding Principles

- SDRA Boundary
- Built Form
- Locally Higher Buildings
- Core Pedestrian Spine
- Permeability Interventions
- Existing Public Open Space
- Proposed / Improved Public Open Space
- Public Realm Improvements
- Public Realm Study
- Community/Cultural Use
- New bridge
- Greening, Cycling and Pedestrian Corridor
- Key Opportunity Sites
- Green Infrastructure and Recreational Area

Character Areas

- 1. Iveagh Market
- 2. Vicar Street
- 3. Newmarket
- 4. Pimlico
- 5. Digital Hub
- 6. Marrowbone Lane
- 7. St James Harbour
- 8. Maryland
- 9. Guinness Lands

3.3 Development Management Standards and Guidelines

3.3.1 Ministerial Guidelines

This application has been developed with consideration on the following national guidelines:

- *Guidelines for Planning Authorities on Childcare Facilities (2001)*
- *Delivering Homes, Sustaining Communities (2004)*
- *Quality Housing for Sustainable Communities (2007)*
- *Urban Design Manual – A Best Practice Guide (2009)*
- *Design Manual for Urban Roads and Streets (DMURS) (2019)*
- *Design Manual for Quality Housing (2022)*
- *Sustainable Urban Housing: Design Standards for New Apartments – Guidelines for Planning Authorities (2023)*
- *Sustainable Residential Development and Compact Settlements Guidelines for Planning Authorities (2024)*

Compliance with the key Sustainable Urban Housing: Design Standards for New Apartments – Guidelines for Planning Authorities (2023) is set out in Sections 5 to 8 of this report.

Compliance with key indicators of quality urban design and placemaking set out in Section 4.4 of *Sustainable Residential Development and Compact Settlements Guidelines for Planning Authorities 2024* is set out in Section 11 of this report.

The proposed development has been designed in accordance with DMURS. Details are provided in the accompanying Transport and Mobility Management Plan, Engineering Report and drawings prepared by Malone O'Regan Consulting Engineers.

Further details on compliance with the aims and objectives of the other guidelines referenced above is contained in the Planning Statement prepared by MacCabe Durney Barnes.

3.3.2 Dublin City Development Plan 2022-2028

A key priority of the Development Plan is to create sustainable neighbourhoods, with a range of household types and tenures located in close proximity to community facilities and services, in order to deliver sustainable patterns of development in line with the principles of the 15-minute city.

The application site is located in the Liberties and therefore it meets the city core category and Liberties & Newmarket Square SDRA 15 of the Core Strategy.

The site has a net density requirement of 100-250 uph.

A 10% public open space requirement applies to the site.

The site is located within a regeneration area; therefore the following requirements are applicable:

- Indicative plot ratio – 1.5-3.0
- Indicative Site Coverage – 50-60%

Compliance with these requirements and other key standards of the building design are set out in Sections 5 to 8 of this report.

Compliance with environmental, drainage and landscape requirements are set out in the engineering and landscape documentation accompanying this application.



Figure 24: view from Brandon Terrace towards Oisín Kelly Park and Block B

3.4 Site Boundaries

The existing site boundaries are well defined:

- Oisín Kelly Park to the north of the site is delineated from the public footpath by a low rendered masonry wall retaining the landscaping behind it. The park is separated from the residential area of the site by a galvanised railing on top of a brick wall c. 3m in overall height. The hardcourt area of the park is further enclosed by a c. 2.7m high weldmesh fence.
- There are 3 no. vehicular access points along the eastern boundary to Brandon Terrace. The entrances themselves are unsecured, with steel posts evidence of previous gates, and lead to tarmac aprons and surface carparking between the blocks. The entrances are framed by feature curved brick bin stores that are linked by a c. 2m high railing above a c. 1 m high brick wall.
- The brick clad wall of the rear yards to Basin Grove apartments and the brick gable of the 4-storey building itself defines the boundary in the southeast corner.
- A c. 2.4m high painted blockwork fall, supplemented by a c. 1.2m railing, forms the southern boundary to the adjoining carpark of St James's Primary School.
- The Luas line to the west is separated from the site by a c. 2.7m high fairfaced block wall topped with galvanised rotating deterrent.
- As the Luas line turns west the 3-storey element of the St James Mortuary direct abuts the c 3m high blockwork wall boundary, this time topped with a curved metal anti-climbing rail. The wall terminates in an ESB substation that fronts onto Ewington Lane.

3.5 Site Features

The key site features are the existing buildings and Oisín Kelly Park. The 5 storey blocks of flats are currently occupied by Dublin City Council tenants. The units themselves are generally in poor condition and require significant maintenance on an ongoing basis.

The open space of Oisín Kelly Park encompassing the entire northern area of the site is unwelcoming due to its form, layout, and general state of disrepair.

There are several lines of existing early mature trees on the site notably:

- A strong line of 15-16m high category B, C & U Ash, Maple, and Sycamores along the southern boundary
- A line of 8-17m high category B, C & U Limes in the northeast corner of Oisín Kelly Park.
- A clump of 16m high category B & C Sycamores set back from the western boundary.

Refer to the arboricultural survey and tree schedule prepared by Charles McCorkell for further details.

3.6 Orientation and Overshadowing

The site is currently occupied by 5 no. existing 5 storey buildings and early mature trees with their associated overshadowing of adjoining properties. The separation off the site from surrounding buildings by the public roads, Luas line and school car park ensures that the development has good potential access to daylight and sunlight.

3.7 Wayleaves for services

There are no known wayleaves for services to be retained across the site. All existing above and below ground services to the buildings to be demolished will be removed during the construction. New services runs will be provided for the retained southern Block 5.



Figure 25: existing boundary to Oisín Kelly Park on Basin Street Lower



Figure 27: existing boundary to Brandon Terrace.



Figure 26: existing boundary to Luas line.



Figure 28: existing boundary to St James Hospital mortuary.

3.8 Site Analysis

The site has extensive frontage with public streets to c. 50% of its perimeter providing opportunities for permeability and connectivity to the wider context.

The site has excellent public transport links, with the St James Luas stop c. 150m to the west and several bus routes within walking distance (refer to MacCabe Durney Barnes Planning Statement for details).

The layout of the site itself is typical of similar developments in the city from the era in which they were built and includes several urban design issues.

The buildings themselves are set back from the boundary to the public realm and have no active engagement with the adjacent streets. Blocks 1 and 3, which are closest to the site boundary address Brandon Terrace with blank gables. Contrasting with the Mary Aikenhead House Flats on Ewington Lane the site has no building line to the perimeter and no defined urban edge.

The freestanding pavilion nature of the blocks means there is no sense of physical enclosure within the site and therefore no hierarchy and transition between public, semi-public, communal, and private open space. The open spaces between the blocks are permeable for cars and pedestrians from Brandon Terrace. This lack of security and the mixed nature of their use, including roads and surface parking, bin stores, a basketball court, children's play spaces and grassed areas, means they are not defined as either communal open space or public open space. The parking layout dominates, and the spaces lack a sense of safety and community that comes from enclosed, well-designed landscaped courtyards with good passive supervision.

The grassed landscaped zone along the western boundary is secured on all sides save for a small opening in the wall and railing adjacent to Block 5. This enclosure coupled with the lack any of any passive supervision from the blank gables of Blocks 2 and 4 creates an uninviting and unsuccessful semi-public space.

Oisín Kelly Park itself is in dilapidated condition, underused by the general public and subject to occasional anti-social behaviour.

The Ecological Appraisal prepared by NM Ecology states that all habitats within the site are of negligible ecological importance. There are several treelines, almost all of which are composed of non-native species, small patches of scrub, amenity grassland and some localised patches of dry meadow.

The footprint of the existing buildings equates to c. 12% site coverage, far below the indicative value of 50-60% in the current development plan. At a height of 5 storeys the buildings are also below the 6-8 storey guiding base height from SDRA 15. These factors lead to the conclusion that this valuable city centre site is underused and could provide a far greater quantum of housing, which is much needed.

3.9 Boundary Development Constraints

The Luas line to the western boundary brings a potential source of noise and the treatment of the boundary also needs to be in accordance with the requirements of Irish Rail. Malone O'Regan have consulted with Irish Rail during the development of the design proposals.

St James Hospital had Planning Permission Granted for a 4-storey extension to the mortuary building in 2020. The building form is proposed to run along the shared boundary in the northwest corner of the application site. Refer to Section 3.10 of this report for further detail.

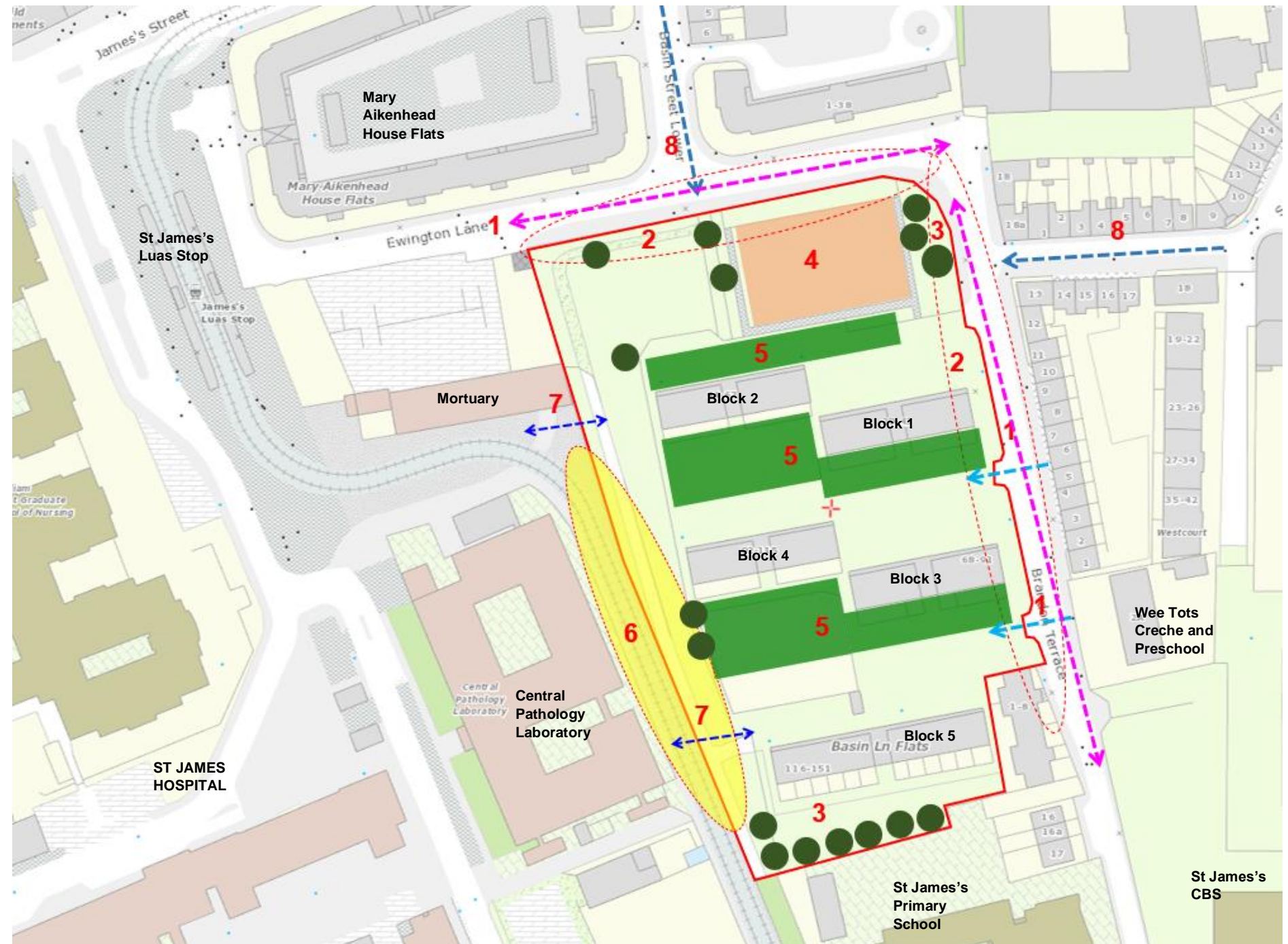


Figure 29: site analysis.

Legend

1. Street with vehicular access
2. Poorly defined urban edge - security issues.
3. Existing trees
4. Disused ballcourt
5. Open space is poorly defined, mixed with parking.
6. Potential noise nuisance from Luas
7. Potential 'permeability Interventions' to St. James's campus.
8. Vistas to the site

3.10 Planning History & Adjacent Developments

3.10.1 Planning History

The application site has no relevant planning history.

3.10.2 Adjacent Planning Permissions

Relevant applications in the surrounding area are noted in the Planning Statement prepared by MacCabe Durney Barnes. The most pertinent is the extension to St James's Mortuary by The Board of St. James's Hospital (Application ref: 3203/20), of which the Final Grant of Permission was issued on 18th Nov 2020. The proposed development consists of:

'A 4 storey, 1072 sq. m., 14.02 metre high infill to vacant yard and extension to the north of the existing mortuary building to serve as a bio-bank process storage unit accommodated over 2 floors with the additional 2 floors allocated to associated laboratory and administration functions; included will be a louvered open plant area 140 sq. m. at roof level, a further 2.7 metres high, all to match the existing building finishes; plant equipment and all other site development works, above and below ground required to facilitate the development, all located adjacent the north eastern boundary of the hospital campus. Vehicular access will be through the north entrance gates from Ewington Lane.'

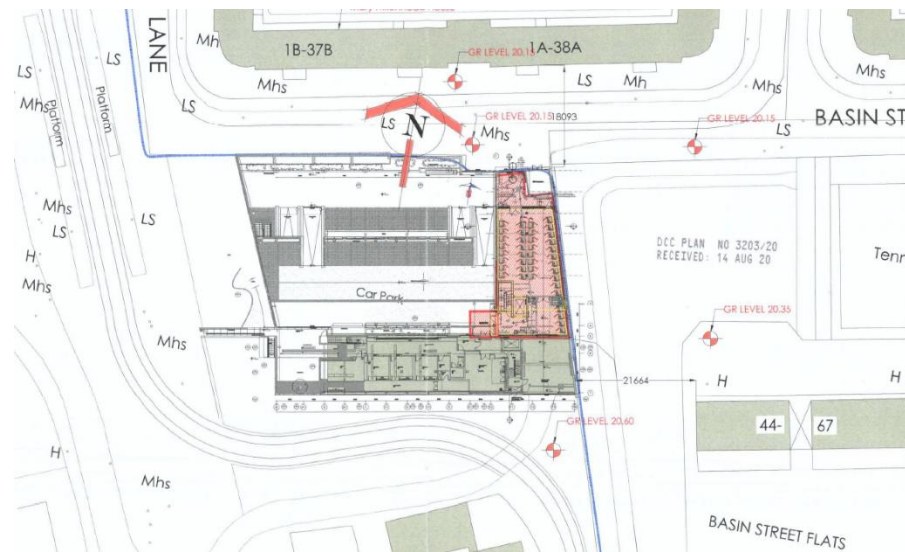


Figure 30: extract from 'Site Block Plan' from application drawings by Eoin Condon Architect

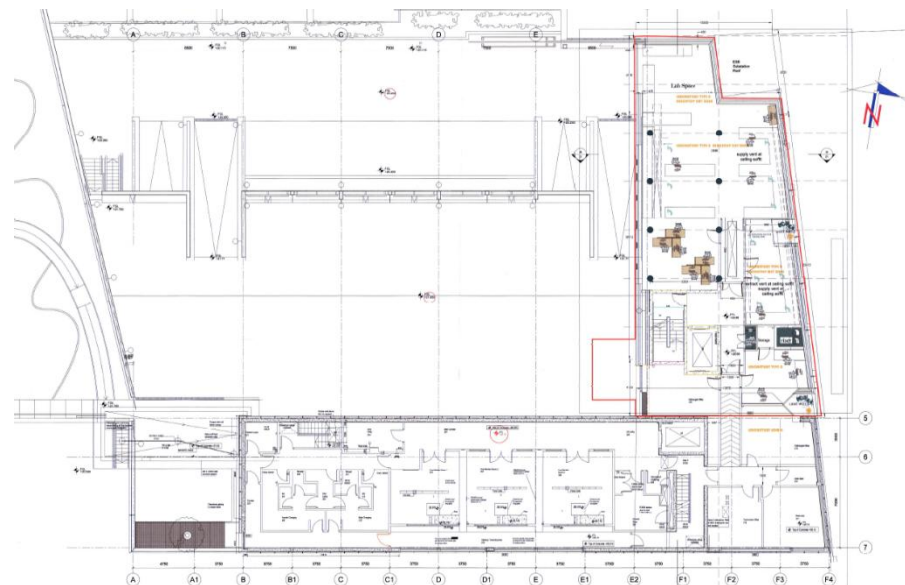


Figure 31: extract from 'Second Floor Proposed' from application by Eoin Condon Architect

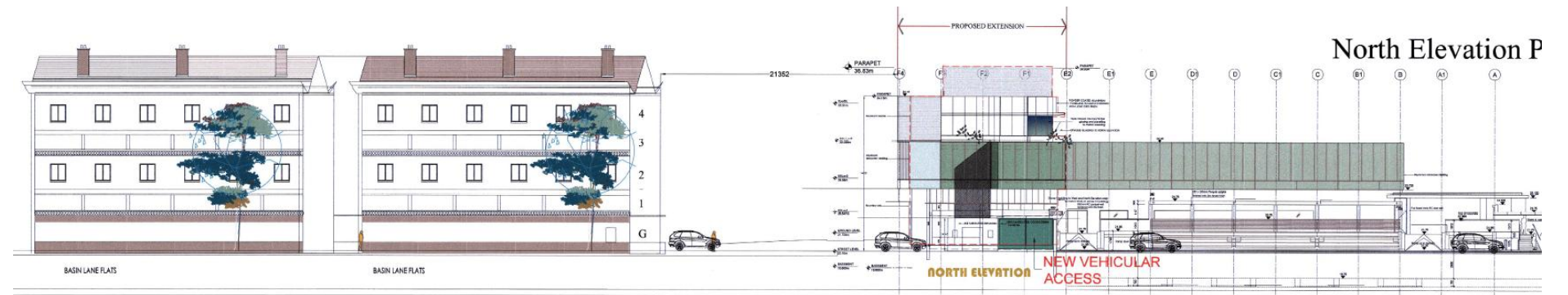


Figure 32: extract from 'Contextual North Elevation Proposed' from application drawings by Eoin Condon Architect

3.10.3 Status

A cover letter submitted from St. James Hospital with the application notes that the proposed development 'is now urgently required to provide the Bio Bank or Bio-Resource storage capacity for clinical research related to a number of national healthcare demands, including but not exclusive to Cancer pathology research, Covid 19 immunology research and provision of patient registry and biobank at St. James Hospital'. However, this permission was never enacted.

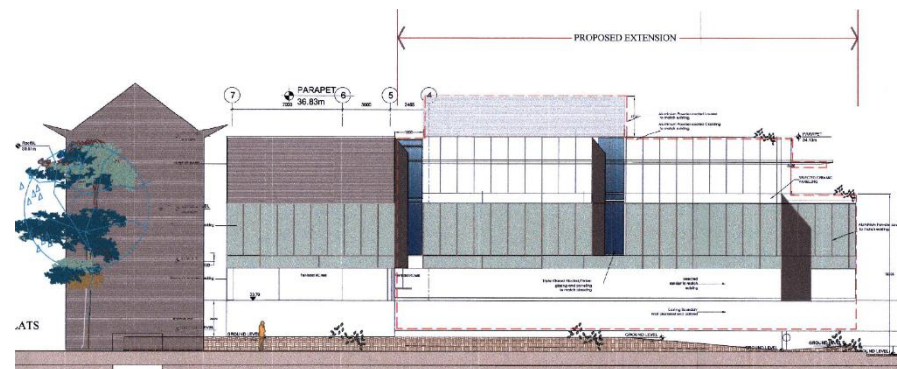


Figure 33: extract from 'East Elevation Proposed' from application drawings by Eoin Condon Architect

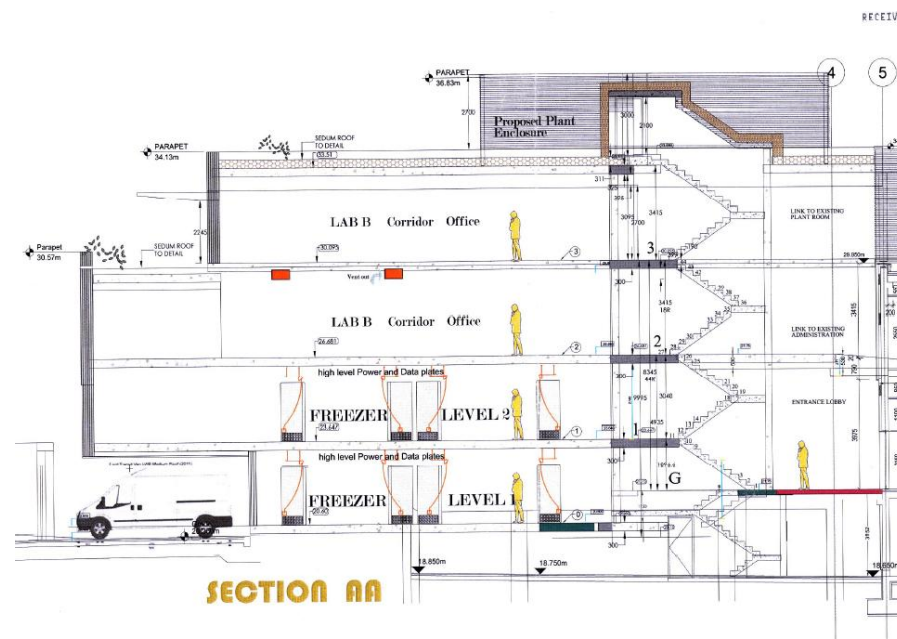


Figure 34: extract from 'Section AA' from application drawings by Eoin Condon Architect

3.10.4 Commentary

The footprint of the granted St James Hospital scheme sits tight to the boundary of the application site. The west elevation is predominately blank and clad in ceramic and powder coated aluminium panels with two small recessed light wells.

The building is 4 storeys in height with an additional screened roof plant area set back from Ewington Lane. A setback green roof also occurs at third floor. Refer to figure 34.

The Permission will expire on 1st January 2025 (5 years plus 45 days). As no works have commenced it appears the opportunity for extending the appropriate period has passed and that the Permission will wither.

Any future application on the St James site will need to be cognisant of the revised residential zoning on this application site, appropriate separation distances to boundaries and potential overshadowing of private and communal amenity areas.

The proposed extension layout of this application in the context of the mortuary scheme is illustrated in figure 35 below.

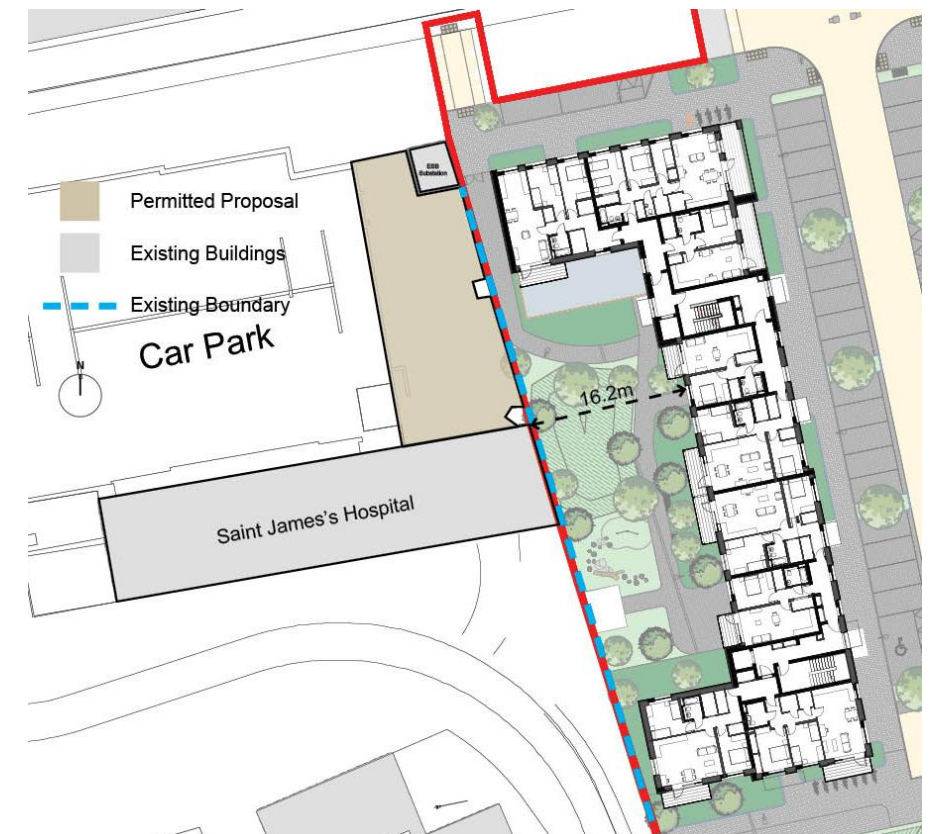


Figure 35: Proposed development with granted mortuary extension.

3.11 Feasibility Study

The DCC 'Basin View Estate Renewal Proposal - September 2021' was reviewed in developing the strategy for the site. The key objectives of the study were:

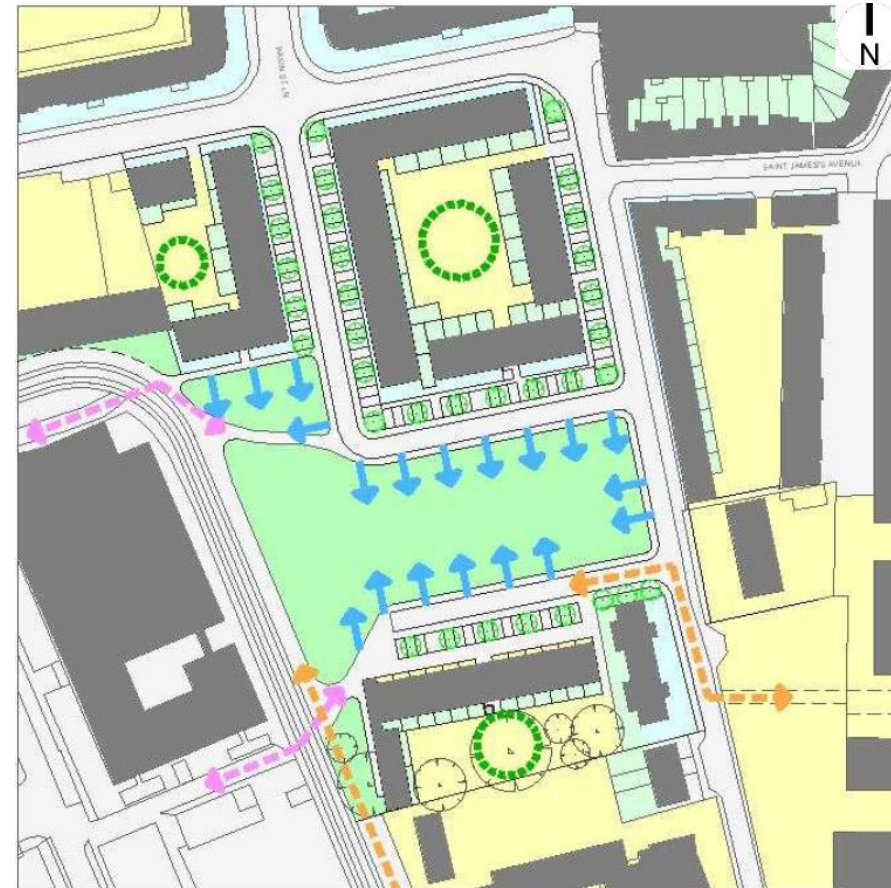
- **Housing and economic need:** Providing new or renovated or combination of both homes that address housing need and local and national housing policies.
- **Quality:** Providing a reinvented site that is enjoyable and safe for residents and with quality that is self-sustaining, minimizing the need for active management by authorities.
- **Practicality:** Providing a layout that functions well in terms of access, servicing and security and creates easy connections to local amenities for residents.
- **Sustainability:** Providing highly energy efficient homes that contribute to carbon reduction.
- **Broader benefits:** Contributing to the quality of the surrounding streets by e.g. providing greening and visual amenity. Contributing to the local context and public spaces.
- **Landscaping:** There is an opportunity for improved site planning and landscaping providing better access and a higher standard of amenity.

Several options were examined for the renewal of the existing complex:

Option	Description	Units
A	Retention and a minimal energy retrofit of the existing blocks	115
B	Retention, amalgamation of units and a deep energy retrofit of the existing blocks	103
C	Demolition of Blocks 1-4, construction of 2 no. apartment buildings, retention, amalgamation of units and a deep energy retrofit of Block 5	173
D	Demolition of Blocks 1-4, construction of 2 no. apartment buildings, retention, amalgamation of units and a deep energy retrofit of Block 5	174
E	Demolition of all Blocks, construction of 3 no. apartment buildings	173

Option D emerged as the preferred solution to meet the development objectives for the site. This option would:

- Consolidate the housing within higher density blocks providing greater number of homes.
- Open up the routes along the public park to facilitate desirable connections with the surrounding area and provide clear, safe public streets.
- Provide housing within enclosed urban blocks, making defensible amenity courtyard spaces thus enabling passive supervision of open spaces and prevention of anti-social behaviour.
- Regularise pedestrian access by providing own door entrance to ground floor duplex units.
- Use the redevelopment as an opportunity to improve public realm of public park and surrounding streets to better integrate the scheme with its neighbourhood and support the Council's wider regeneration strategies.
- Clearly define the flow and separation of the spaces between public, semi-public and private areas.



- Potential through roads and footpaths
- Passive surveillance of public open space
- New through roads and footpaths
- Semi-public open space
- Public green open space:
- Public open space:
- Semi public open space:
- Private open space:
- Built environment:

Figure 36: 'Site Strategy' extract from 'Basin View Estate Renewal Proposal - September 2021'

Key issues were identified in the study include:

- Layouts are based on a deck access approach. This is deemed suitable for senior citizens housing but not preferred for social housing developments.
- New build blocks are below the 6-8 storey base height in SDRA 15.
- Community/Cultural/ Arts provision is significantly underprovided.
- No childcare provision is included.
- 3 no. vehicular access points & perpendicular parking to Brandon Terrace and the central public open space.
- Block 5 amalgamation strategy presents technical and compliance challenges,
- Existing trees to southern boundary not adequately considered in extending Block 5.



- Public green open space:
- Public open space:
- Semi public open space:
- Private open space:
- New development
 - 1 Bed apartment:
 - 2 Bed apartment:
 - 3 Bed Duplex apt:
- Existing re-used blocks
 - Vertically amalgamated:
 - Horizontally amalgamated:
- Community/Commercial:

Figure 37: 'Option D' extract from 'Basin View Estate Renewal Proposal - September 2021'

3.12 Development Strategy

3.12.1 Introduction

The development strategy proposed in this application is the result of a lengthy design evolution and collaboration process between the project design team and incorporates the feedback from consultations with existing residents, DCC technical departments, the Department of Housing, Planning and Local Government, and other stakeholders.

The starting point for the strategy was a review of the feasibility options contained in the 'Basin View Estate Renewal Proposal - September 2021'. Following consideration of social, environmental, urban design, technical, regulatory, and economic considerations the preferred Option D was validated as the most suitable to enable the regeneration of the site and deliver high-quality residential units and community uses.

The issues identified with Option D (refer to Section 3.11) have been resolved in the refinement of the strategy presented in this application. The proposals are summarised below with a high-level commentary provided on the rationale for the each.

3.12.2 Site layout

- Site split into 3 distinct zones in accordance with the zoning.
- North – Demolition of existing Blocks 1&2. new building residential, creche and community use with associated surface carparking
- Centre – Demolition of existing Blocks 3&4. Relocation and significant enhancement of Oisín Kelly Park
- South – Retention, deep retrofit and extension of existing building.
- Roadways minimised to provide efficient surface car parking and emergency vehicle access.
- Existing trees retained where possible and root protection areas avoided.
- SDRA 15 permeability and connectivity objectives achieved.

3.12.3 Blocks 1-4

- Demolition of existing buildings allows for the densification of the site, an efficient use of city centre land and complies with the site zoning.
- Provides the opportunity to form a new urban edge to Ewington Lane, Basin Street Lower and Brandon Terrace
- Eliminates the unsecured ill-defined zones between Blocks 1-4.

3.12.4 North - New Residential Development

- Construction of two apartment buildings, Blocks A and B rising from 4 to eight storeys.
- Greatest height is in the centre of the site, stepping down to boundaries with recognition of the potential impact on adjoining residential use.
- Residential use complies with the Z1 site zoning.
- Creation of a new building line along Ewington Lane, Basin Street Lower and Brandon Terrace repairs the urban fabric.
- Single vehicular access off Basin Street Lower, aligns with existing urban grain of Mary Aikenhead House Flats
- Homezone and residents parking between blocks creates vista and a pedestrian link to the relocated Oisín Kelly Park.
- Communal open spaces are secured behind building lines in internal courtyards.
- Community/Cultural/ Arts and Childcare facilities located at ground level fronting onto Ewington Lane, Basin Street Lower with associated parking.

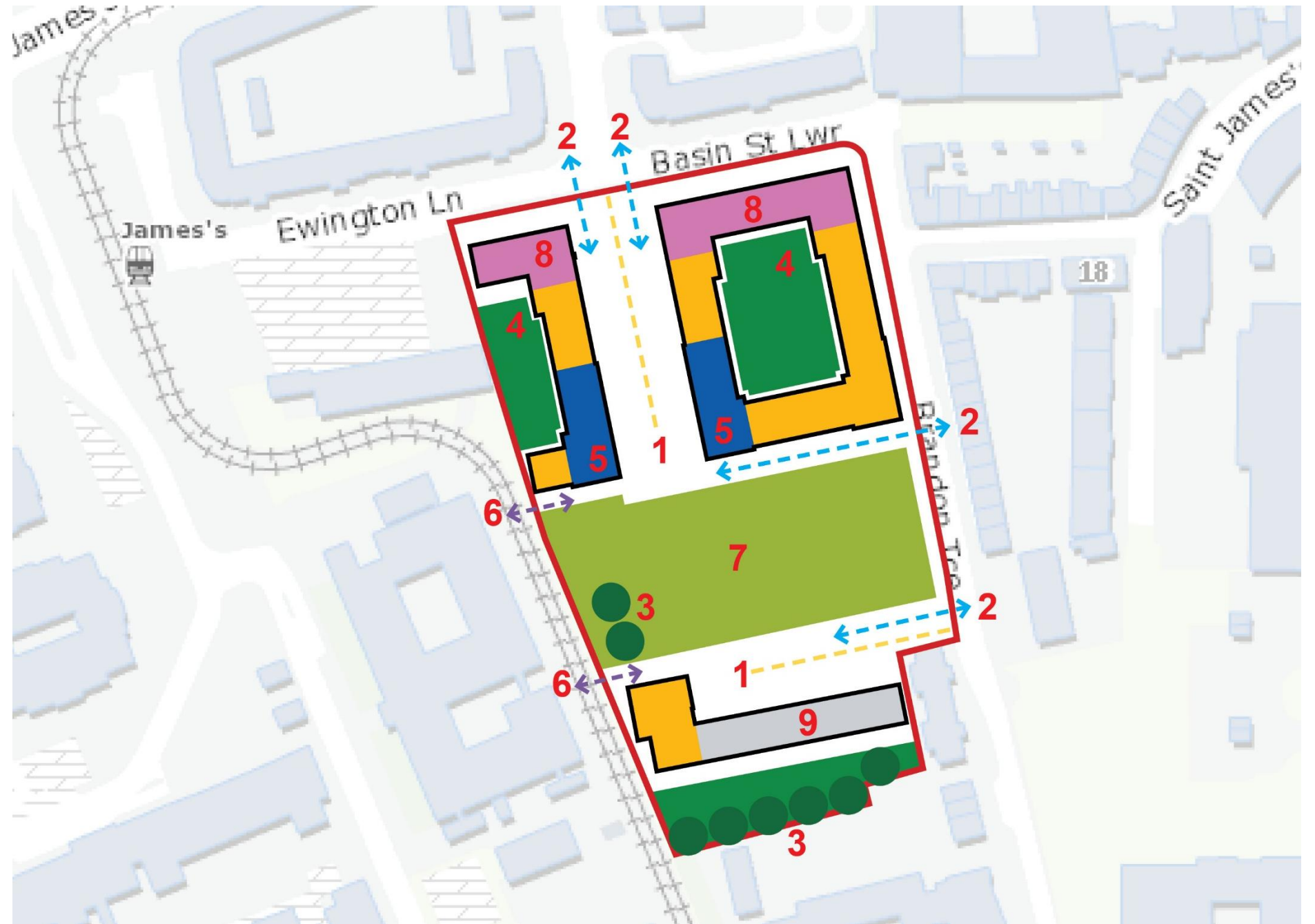


Figure 38: development strategy.

Legend

1. Street with vehicular access
2. Opportunity for pedestrian & cycle access
3. Trees along boundaries retained.
4. Apartment blocks stepping from 4 to 8 storeys.
5. Central landmark corners
6. SDRA 15 permeability & connectivity
7. Central public open space – Oisín Kelly Park
8. Childcare/ Community/Cultural/ Arts facilities
9. Existing building retained

3.12.5 Centre - Oisín Kelly Park

- Relocates of the park to the centre of the site is accordance with the Z9 zoning.
- Existing trees to western boundary are retained.
- Significantly improves the existing public open space with new landscaping, play spaces for different ages and a sports area.
- Provides a multifunctional external Community/Cultural/ Arts space.

3.12.6 *South - Retention of Existing Building*

- Retention and deep retrofit of Block 5 – renamed Block C
- Proposal complies with Development Plan Objectives CA6 & CA7
- New extension to accommodate a passenger lift, an additional stairs for ease of access and fire safety compliance, bike and bin stores, building plant and equipment, ESB substation and switch room
- Communal open space is secured behind the building form in rear south facing courtyard.
- Existing trees to southern boundary are retained and root protection areas avoided.
- surface car parking and vehicle access of Brandon Terrace to the north.

3.12.7 *Compliance with SDRA 15*

The proposed development strategy is in accordance with the objectives of SDRA 15:

- Reinforces a sense of place and identity of the St James Harbour character area.
- Better integrates the site with its adjoining institutions and neighbourhoods.
- Facilitates permeability to the St James Hospital Campus
- Provides a new public open space that is ‘visible, accessible, and inviting to the wider public’.
- Forms part of the pedestrian connection linking Oisín Kelly Park with St James’s Linear Park

3.12.8 *Summary*

The approach adopted:

- Resolves the issues identified with the feasibility study.
- Addresses the constraints identified in the site analysis.
- Optimises the site capacity.
- Repairs the urban grain and creates a hierarchy of public, semi-public and private spaces.
- Provides a high-quality residential development.
- Retains and upgrades an existing building reducing the developments embodied carbon.
- Creates a sense a place for its residents.
- Integrates the site into the existing built environment.
- Respects the existing adjoining residential amenity.
- Facilitates the sequencing of construction to accommodate the residents of the existing buildings. Refer to Section 3.15 for further details.

3.13 **Consultation**

DCC Housing Department with Coady Architects and Local Area Office held public information sessions on the 16th November 2023 and 9th May 2024. These consultations were well attended by residents in the community. The proposals were positively received, and all the issues raised during the consultations were considered by the wider project team in refining the design and preparing this application.



Figure 39: concept sketch of Blocks A and B relating to a central public open space.

3.14 Demolition Justification

3.14.1 Dublin City Council Policy

This application is a combination of demolition/new build and retention/deep retro fit. This solution is proposed as the optimum response to the varying competing considerations pertaining to the renewal of the site.

In preparing this application the project team were cognisant of the policies and objectives within the current Dublin City Development Plan for the retrofitting and re-use of existing buildings where possible, notably Chapter 3 – Climate Action:

- CA6 Retrofitting and Reuse of Existing Buildings
- CA7 Energy Efficiency in Existing Buildings

And Chapter 15 – Development Standards:

- Section 15.7.1 Re-use of Existing Buildings

3.14.2 Demolition Justification Report

A Demolition Justification Report required under Section 15.7.1, setting out the rationale for the demolition with regard to the 'embodied carbon' of existing structures has been prepared by Semple McKillop and should be read in conjunction with this report.

The urban design, social and compliance considerations examined during the review of the DCC 'Basin View Estate Renewal Proposal - September 2021' and the design development are summarised below:

3.14.3 Density and Zoning – Blocks 3 & 4

The retention and a deep energy retrofit of all existing blocks on Option B would only achieve a net density of 90uph, short of the minimum 100uph development plan standard.

Furthermore, the rezoning of the site adopted in September 2023 repositioned the Z9 Open Space lands to the centre of the site currently occupied by Blocks 3 & 4. The current zoning would not support the retention and retrofitting of these blocks. The retention of all Blocks was therefore deemed non-compliant and unfeasible.



Figure 40: extract from DCC Development Plan Map accompanying zoning variation

3.14.4 Blocks 1 & 2

Blocks 1 & 2 sit in the northern end of the site within Z1 lands. As outlined in Section 3.8 Site Analysis, these buildings present several key urban design issues with their setback building lines, poor relationship with the adjoining streets and lack of defined and secure semi-private and private open space. This lack of hierarchy and sense of safety encourages antisocial behaviour.

An option for the retention of these blocks combined with a new build element was explored and is illustrated below.



Legend

1. Retained buildings: 5 storeys
2. New build: 7-8 storeys
3. New build: 8 storeys – proximity of St James's Hospital Mortuary
4. Childcare/ Community/Cultural/ Arts facilities
5. Vehicular access
6. Communal Open Space
7. Area required for surface parking
8. Poorly- defined zone
9. Insufficient setback from building to POS & fire tender access required
10. Central public open space – Oisín Kelly Park
11. New build: 5 storeys
12. Existing trees retained

Figure 41: Block 1 & 2 retention – Site development analysis.

This option forms a new building line along Ewington Lane, Basin Street Lower and Brandon Terrace enclosing a courtyard between the new and retained buildings. While addressing some of the urban design issues this strategy is inferior to the preferred strategy in several key areas:

- The site layout requires the majority of the car parking spaces to be located in the central courtyard. This replicates the issues with the existing site layout.
- The parking, as required to serve the residents of the existing blocks, lead to a deficiency in the quantum Communal Open Space.
- Block 3 has insufficient setback to the public open space (POS), leading to issues of privacy for the habitable rooms and balconies along the south elevation. Vehicular access would be required here for fire tender access.
- The area between Block 4 and the POS is ill defined and replicates the existing site conditions.
- To achieve the minimum density of 100uph with 157 dwellings on the overall site the new build L-shaped block to the north would be 6-7 storeys high with the extension of Block 4 rising to 8 storeys. The design of this 8-storey wing would be significantly constrained by the proximity of the St James's Hospital Mortuary. To achieve the 171 dwellings as per the preferred strategy the L-shaped block would rise to 7-8 storeys.
- The sunlight/daylight analysis undertaken during the development of the preferred option indicates that development above 4 storeys along Ewington Lane/ Basin Street Lower adversely effects the adjacent residential properties and is contrary to the recommendations contained in the BRE 'Site layout planning for daylight and sunlight: a guide to good practice guidelines'.
- The mix of units that can be accommodated in the retained buildings is driven by the size of the bays between the existing structural cross walls. The 2 and 3 bed split as per figure 36 in Section 3.11, combined with a new build layout to avoid single aspect north facing units, leads to a surplus of 3 bed units and a deficit of 2 bed units in the overall mix when compared to the project brief defined by the Housing Need Demand Assessment.

It is acknowledged that the replacement of these existing buildings would incur an carbon increase from the demolition process, loss of embodied carbon from the original build, and the resulting further carbon in the new build. However, it is argued that the construction of a new, longer life cycle, denser residential scheme with a far superior thermal performance, energy efficient building services and addressing the urban design issues would be a significant improvement on the existing situation outweighing the embodied carbon calculation.

3.14.5 Block 5

The position of Block 5 on the site and its relationship to its surroundings is more favourable than Blocks 1 to 4 and its retention does not lead to the same design and compliance issues as Blocks 1 & 2. A demolition and new build strategy in this area of the site would lead to an apartment block of a similar footprint, retaining the existing trees to the south and accommodating the vehicular access and parking to the north. Retention and deep retrofit of Block 5 in accordance with CA06 & CA7 as outlined in Sections 3.12 and 5.1 with the accompanying saving in embodied carbon is the logical preferred option. The proposed extension to west of Block 5 accommodating the passenger lift, stairs, stores and plant, minimises the structural interventions in the existing building. The detailed proposals for this deep retrofit of this building are described in Section 5 of this report.

3.14.6 Reuse of Materials

The reuse and disposal of materials from the demolished building is outlined in the Resource & Waste Management Plan accompanying this application.

3.15 Construction Sequence

The intention is to deliver the development under a single contract with works continuing on a rolling basis from commencement to completion.

Sequencing of the works will be required facilitating the decanting of the existing buildings and housing of the residents prior to demolition. The proposed sequencing is as follows:

Phase 1

- Blocks 1 & 2 Vacated & Demolished
- Construction of Blocks A & B, parking, site works and infrastructure.
- Residents occupy the new buildings and Blocks 3 & 4 are vacated.

Phase 2

- Demolition of Blocks 3 & 4
- Construction of Public Open Space – Oisín Kelly Park
- Deep retrofit and construction of extension to Block 5 (Block C)



Figure 42: view of existing Blocks 1&2 and Oisín Kelly Park



Figure 43: view of existing Blocks 3&4



Figure 44: Proposed construction sequence – existing site

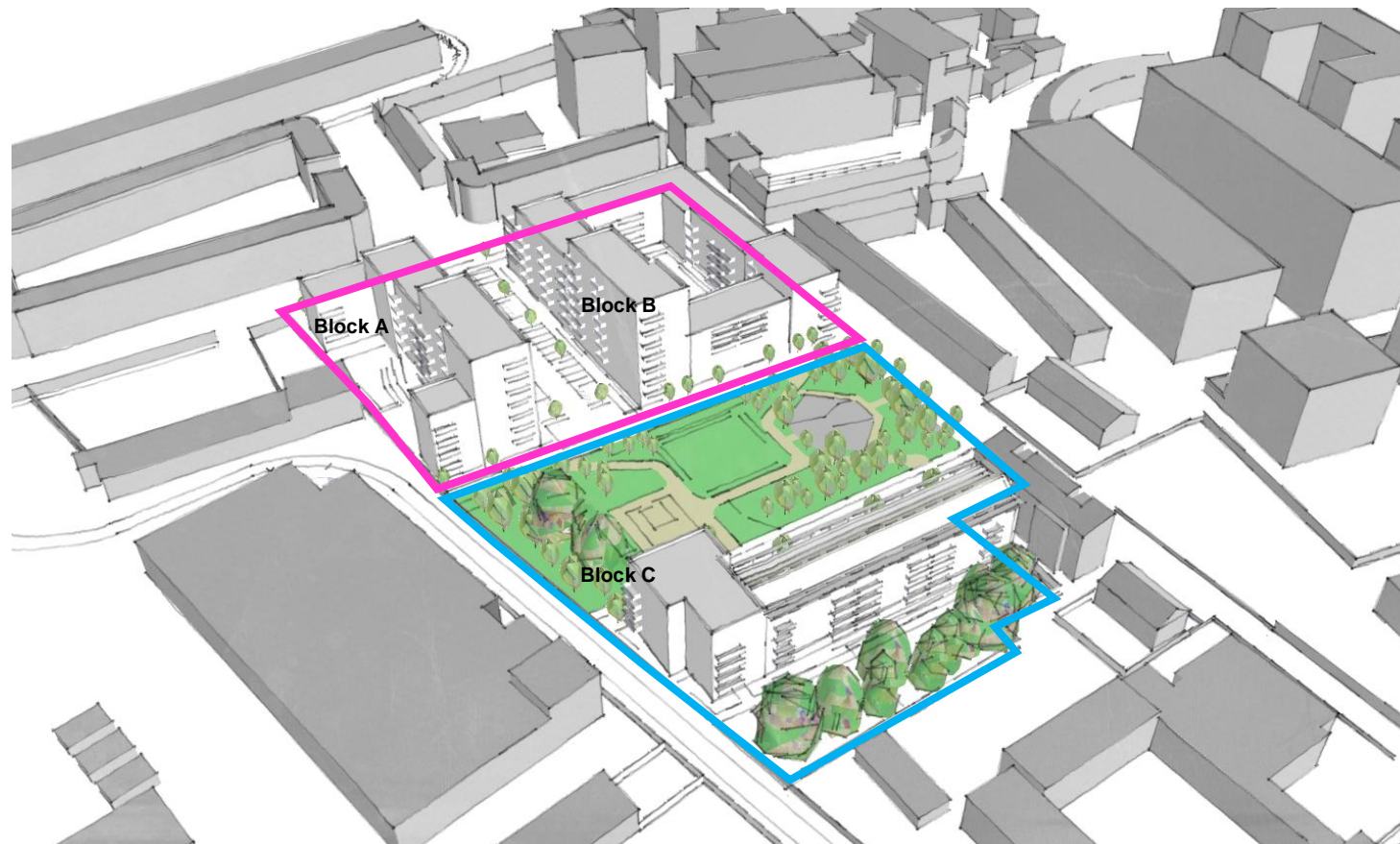


Figure 45: Proposed construction sequence – proposed site

4. SITE MASTERPLAN APPROACH

4.1 Development Considerations

With regards to any requirement for the development of a masterplan for the subject site, the following are to be noted:

- The proposed development is not deemed to be of a significant increased density, scale or height when considered in the context of the application site in the Liberties area. The proposed development has been designed in accordance with the Guiding Principles of the SDRA Liberties and Newmarket Square 15 and therefore generally aligns with the intended design principles of development at the site. Please refer to the MacCabe Durney Barnes Planning Report accompanying this application for further information.
- The proposed development complies with the performance criteria set out in Table 3 of Appendix 3 of the City Development Plan, which in turn were prepared by the Planning Authority with regard to Section 3 and the Development Management Criteria in the Building Height Guidelines 2018. The accompanying planning report prepared by MacCabe Durney Barnes demonstrates to the Planning Authority the appropriateness of the proposed building heights for the subject area/site.
- This Design Statement and the accompanying Planning Report also addresses the Design Checklist – Key Indicators of Quality Urban Design and Placemaking of the Sustainable and Compact Settlements Guidelines for Planning Authorities which are intended as helpful prompts in the refinement and review of detailed plans (such as masterplans or urban design frameworks) and in consideration of individual planning applications.

Therefore, a Site Masterplan is not proposed for the subject development.



Figure 46: concept sketch of vista down Basin Street Lower to new Oisín Kelly Park.

5. BUILDING LAYOUT AND DESIGN.

5.1 Scheme Design

5.1.1 Site Layout

The proposed site layout is derived from the development strategy as outlined in Section 3.12 of this report.

Two new apartment buildings, Blocks A & B, occupy the northern area of the site separated by a paved and landscaped home zone providing surface car parking for the residents. The new internal roadway is on axis with Basin Street Lower between the Mary Aikenhead House Flats. This creates a vista from James Street through to the new Oisín Kelly Park in the centre of the site and a harmonious relationship between the new apartments and the existing flats.

Block A is U-shaped enclosing a courtyard to the western boundary. Block B is a larger perimeter block with a fully enclosed central courtyard. These strong legible building forms define a clear urban edge to the north, south and east addressing the public realm. The buildings are set back from the kerb line of existing roads to provide buffer planting, street 'greening' and to minimise their impact on the existing adjoining residences. Block A is set back from the western boundary to facilitate construction adjacent to the Luas line and the potential future expansion of the St James Hospital Mortuary.

Parallel parking is provided along Ewington Lane/Basin Street Lower to serve the creche and Community/Cultural/Arts facility located on the ground floors of northern bars of Blocks A & B respectively.

The layout of Block C to the south is the site is a combination of the new and retained building forms. The location of the pedestrian and vehicular access point on Brandon Terrace is maintained with the internal roadway realigned for surface parking, refuse and fire tender access. The extension to the west has been laid out avoid the root protection areas of the retained trees while securing a courtyard to the south.

The relocated and upgraded Oisín Kelly Park forms the centrepiece of the site, framed and overlooked by the new and retained buildings. This public open space is connected both to public realm at Brandon Terrace and the home zone between Blocks A&B.

The public, semi-public, and private realms are all very clearly defined within the proposed development. Communal open space for the residents is provided in landscaped courtyards to the rear of all the blocks, enclosed primarily by the building forms supplemented in Blocks A & C by railings being brought to the western site boundary. The courtyards are accessed by residents through the communal staircores with maintenance access provided by gates in the railings. All private terraces address the courtyards or are elevated above ground level. There are no terraces or balconies projecting onto Ewington Lane or Basin Street Lower

5.1.2 Public Realm

The provision of a high-quality public realm is a key driver for the renewal of this site. Particular focus has been brought on the delivery of the landscaping and play facilities in the public open space of Oisín Kelly Park, the retention of existing mature trees and local biodiversity enhancements in the SuDs design.

'Greening' and improvements to the paving and streetscape to the north and east as well as the greater site permeability and connectivity to the wider neighbourhood will all contribute to the enhance the public realm. This is discussed in further detail later in Section 6 of this report.

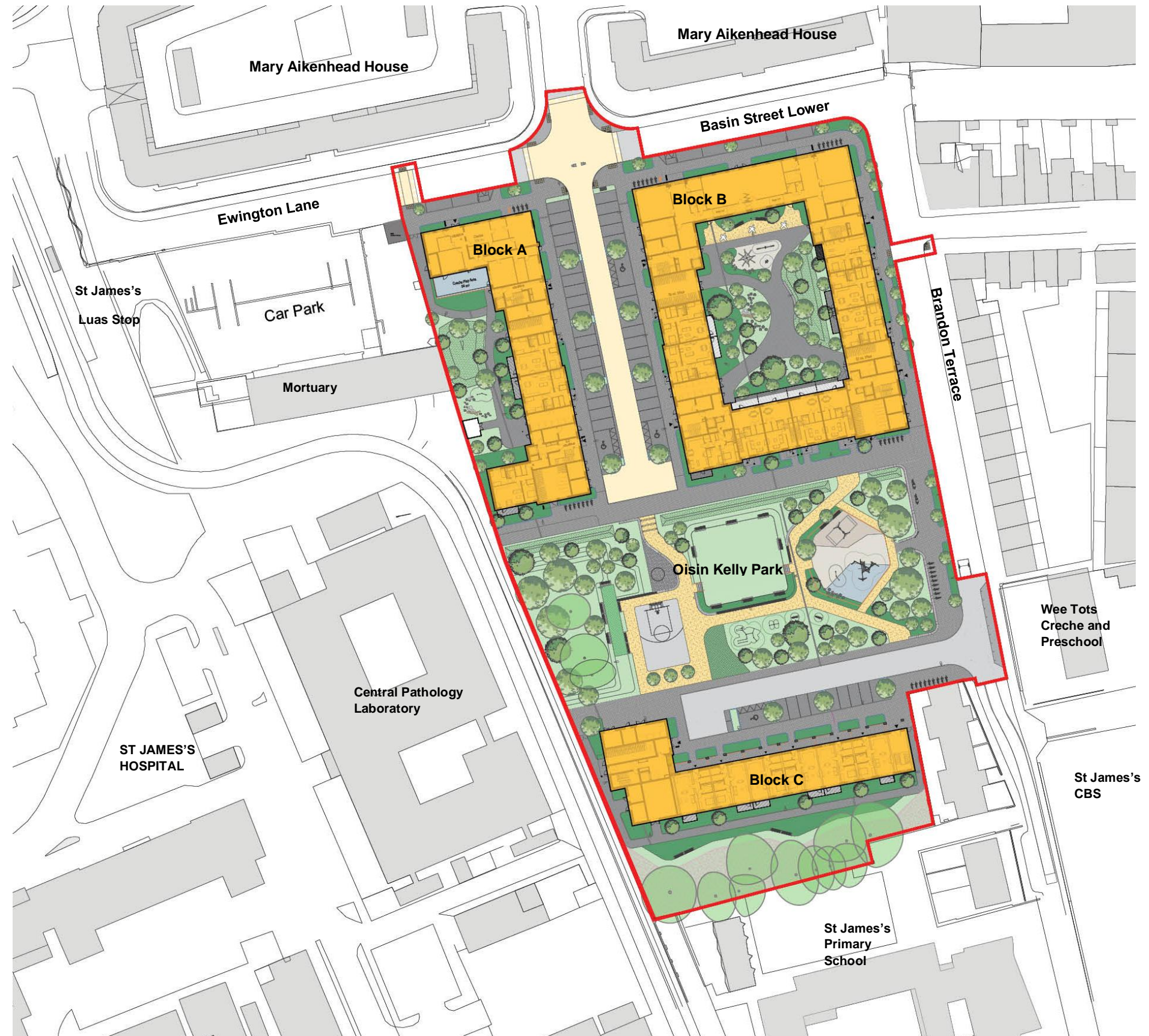


Figure 47: proposed site layout.

5.1.3 Block A

Block A is located in the northwest corner of the site addressing Ewington Lane to the north, Oisín Kelly Park to the south, the new Homezone to the east and St James Hospital and the Luas line to the west.

The U-shaped plan encloses a communal courtyard that has good separation to the existing adjoining structures delivering generous daylight to the landscape and play spaces contained within.

The building is shallow in plan with 2 no. stair and lift cores at the nodes serving 4/5 apartments off single loaded corridors terminating in dual aspect apartments running the full depth of the block.

The ground floor accessed off Ewington Lane is occupied by a creche with its south facing play space adjoining the communal courtyard.

Own door access units are located at the eastern elevation activating the ground level and providing passive supervision to the home zone. Each entrance features a modest entrance canopy, and a landscape buffer to the habitable rooms. Private terraces are located in the central courtyard.

The bike and bin stores, plant, ESB, comms and meter rooms are distributed at ground level with access to the public realm and communal courtyard as functionally required.

Communal staircores sit within the primary building form with the entrances identified by glazed doors with projecting canopies, greater in scale than the own door units signifying their nature.

Balconies are either south, west or east facing and all project beyond the building envelope into the communal courtyard or towards Oisín Kelly Park with the exception of two units per floor in the northeastern corner at Ewington Lane. These balconies are recessed to provide privacy for residents and avoid impacting the public realm. This approach creates a sense of dynamism and activity across the simple building form. The balconies sit within a landscaped zone at ground level with no impact on the public realm or the communal courtyard.

Legend

- 1. Creche
- 2. Communal Staircore
- 3. Apartment
- 4. Bike Store
- 5. Bin Store
- 6. Comm/Meter Room
- 7. ESB Substation/Switch Room

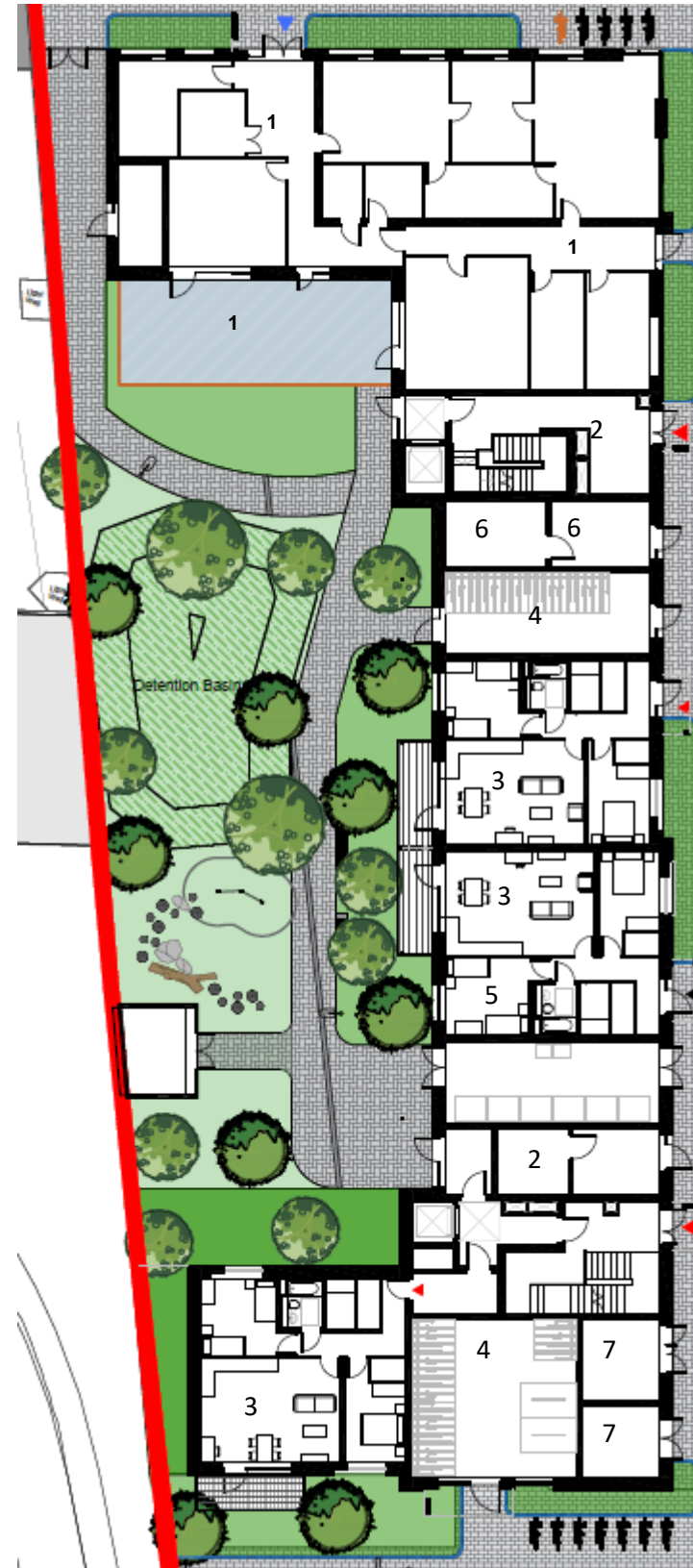


Figure 48: Block A ground floor plan.

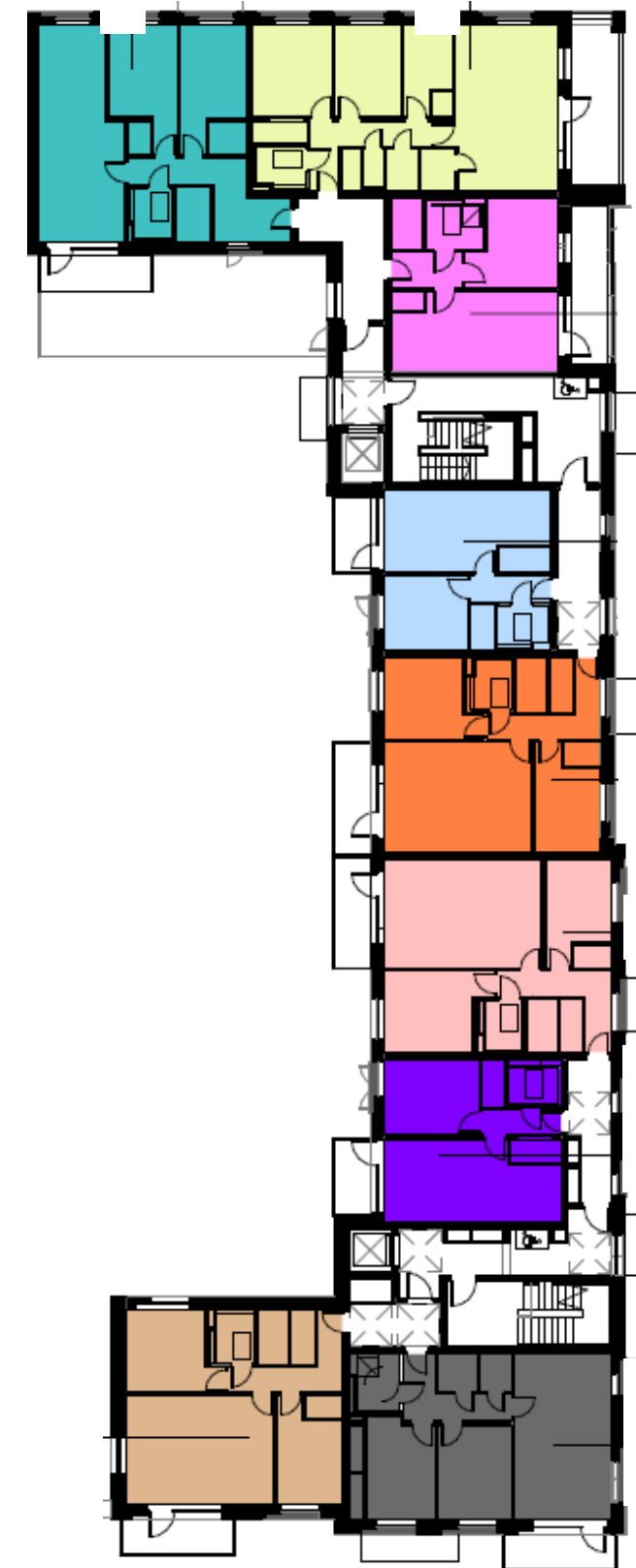


Figure 49: Block A typical upper floor plan.

- A-1B2P-1
- A-1B2P-2
- A-1B2P-13
- A-2B4P-4
- A-2B4P-9
- A-2B4P-34
- A-2B4P-37
- A-2B4P-38
- A-3B5P-1

5.1.4 Block B

Block B is located in the northeast corner of the site addressing Basin Street Lower to the north, Oisín Kelly Park to the south, Brandon Terrace to the east and the new Homezone to the west.

The perimeter plan of this, the larger of the two new apartment blocks, encloses a central communal courtyard with landscaping and play spaces contained within.

The building is shallow in plan with 4 no. stair and lift cores at the nodes serving 4/5 apartments off single loaded corridors terminating in dual aspect apartments running the full depth of the block. 4 no. own door access 2 storey 4 bed duplex units are located along the southern elevation with a deep landscape buffer separating them from Oisín Kelly Park.

The ground floor, accessed by two separate entrances off addressing Basin Street Lower, is occupied by the Community/Cultural and Arts facility with its south facing landscaped terrace adjoining the communal courtyard.

Own door access units are located along all other elevations activating the ground level and providing passive supervision to the public realm. Each entrance features a modest entrance canopy and a landscape buffer to the habitable rooms. Private terraces are located in the central courtyard.

The bike and bin stores, plant, ESB, comms and meter rooms are distributed at ground level with access to the public realm and communal courtyard as functionally required.

Communal staircores sit within the primary building form with the entrances identified by glazed doors with projecting canopies, greater in scale than the own door units signifying their nature.

Balconies are either south, west or east facing and all project beyond the building envelope with the exception of the corner units at Basin Street Lower. Similar to Block A these balconies are recessed to provide privacy for residents and avoid impacting the public realm. This approach replicates the Block A approach with dynamism and activity across the simple building form. The balconies sit within a landscaped zone at ground level with no impact on the public realm or the communal courtyard.

Legend

- 1. Community/Cultural/Arts Facility
- 2. Communal Staircore
- 3. Apartment
- 4. Bike Store
- 5. Bin Store
- 6. Comm/Meter Room
- 7. ESB Substation/Switch Room

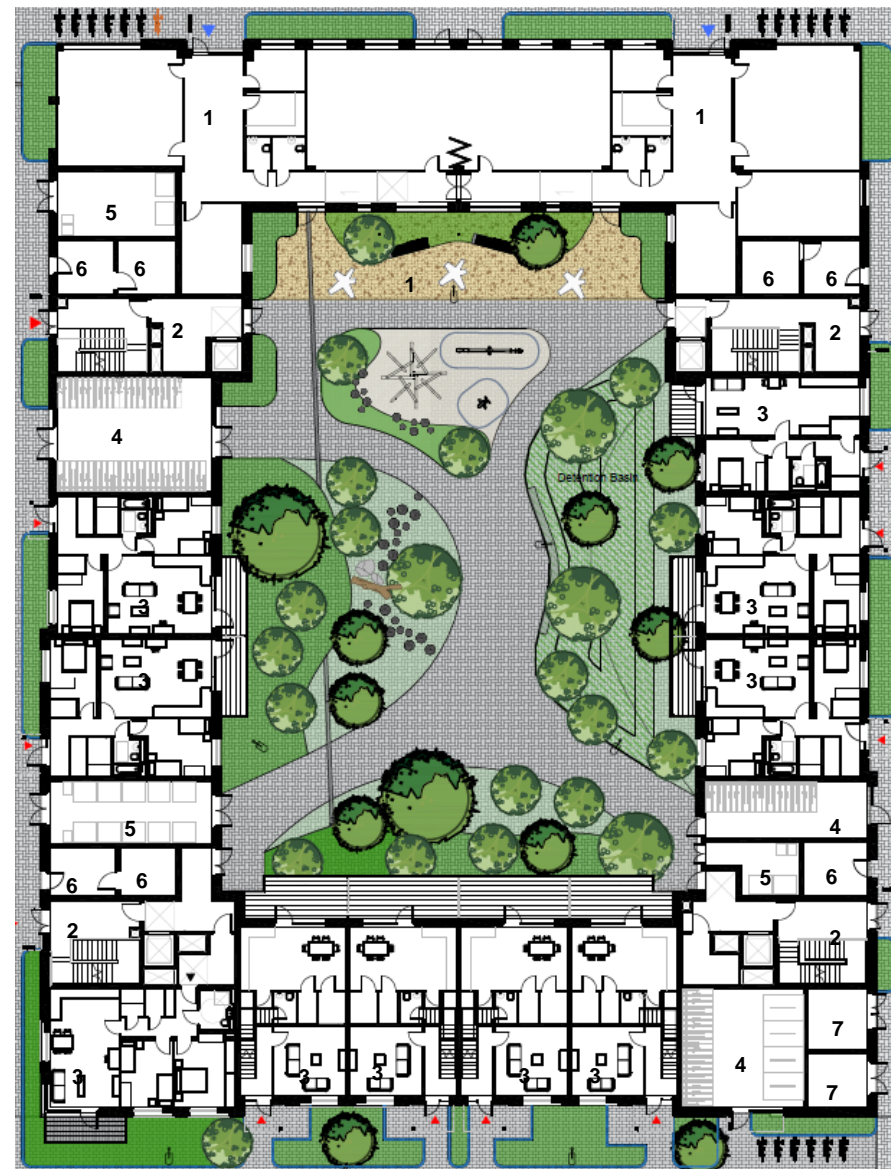
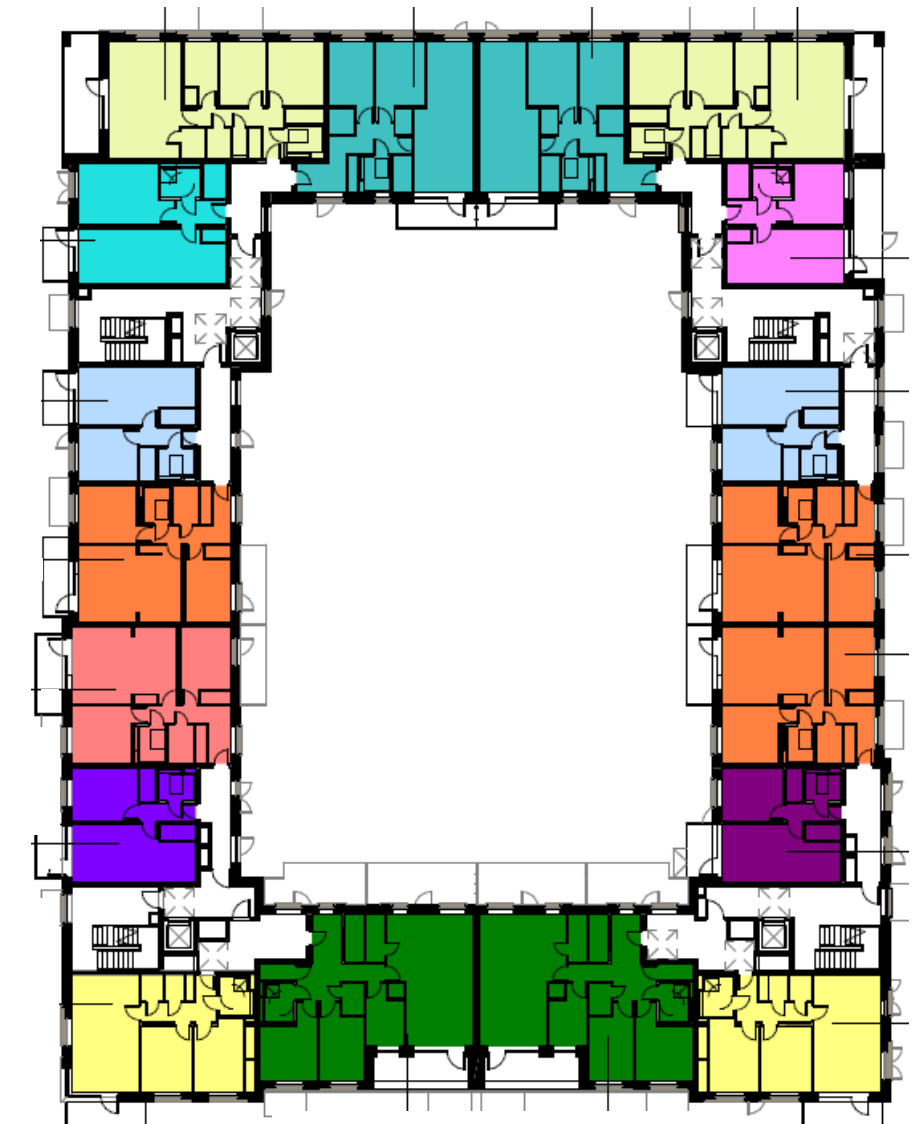


Figure 50: Block B ground floor plan.



- A-1B2P-1 A-1B2P-21 A-2B4P-34
- A-1B2P-2 A-2B4P-2 A-3B5P-1
- A-1B2P-13 A-2B4P-4 A-3B5P-8
- A-1B2P-14 A-2B4P-9

Figure 51: Block B typical upper floor plan.

5.1.5 Block C – Concept Proposal

The retention, deep retrofit and extension of Existing Block 5 has been identified as the optimum design solution for the southern development zone.



Figure 52: Block A typical upper floor plan

This solution, labelled Block C, is an efficient use of existing site and building in delivering a high-quality residential scheme eliminating the embodied carbon associated with a full new build option. The design strategy can be summarised as follows:

- Retain the Block 5 primary structure & minimise interventions in the cross walls defining the building bays.
- Eliminate the existing balconies and deck access by bringing them into the weathered building envelope to provide a simple form eliminating cold bridging and the associated risk of internal mould growth, dampness and leaks with a complex building form.
- Upgrade the thermal performance of the envelope in compliance with Building Regulations Part L – Conservation of Fuel and Energy.
- Provide a new deck access approach to the north, sitting outside of the reformed existing envelope with brick clad columns.
- Relocate the existing central stairs to the eastern gable structural bay.
- Existing stair floor opes and all other opes in the existing floor slabs filled in. All new dwellings will be single storey.
- Provide new south facing projecting balconies sitting outside of the reformed existing envelope.
- Construct an extension to west linking a new stair and lift core to the new deck access and relocated stairs.
- New staircore to serve 3 units per floor.
- New build wing to include main entrance lobby, bike store, bin store, ESB substation, switch, and plant rooms.
- Allowance for roof mounted plant on the new building with the potential for a PV array on the existing south facing pitched roof.

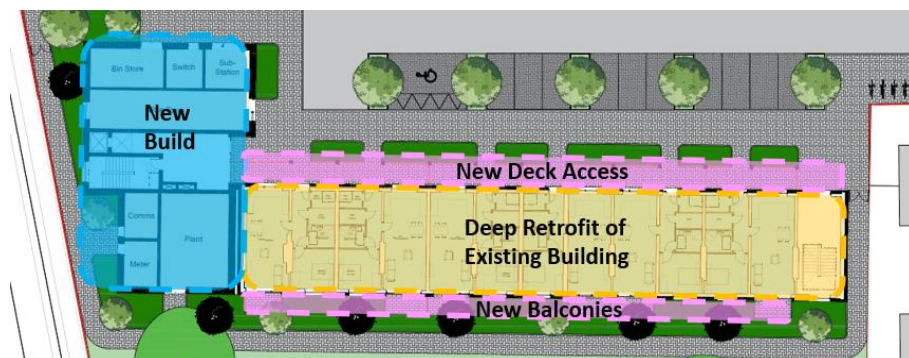


Figure 53: Block C – Development Strategy

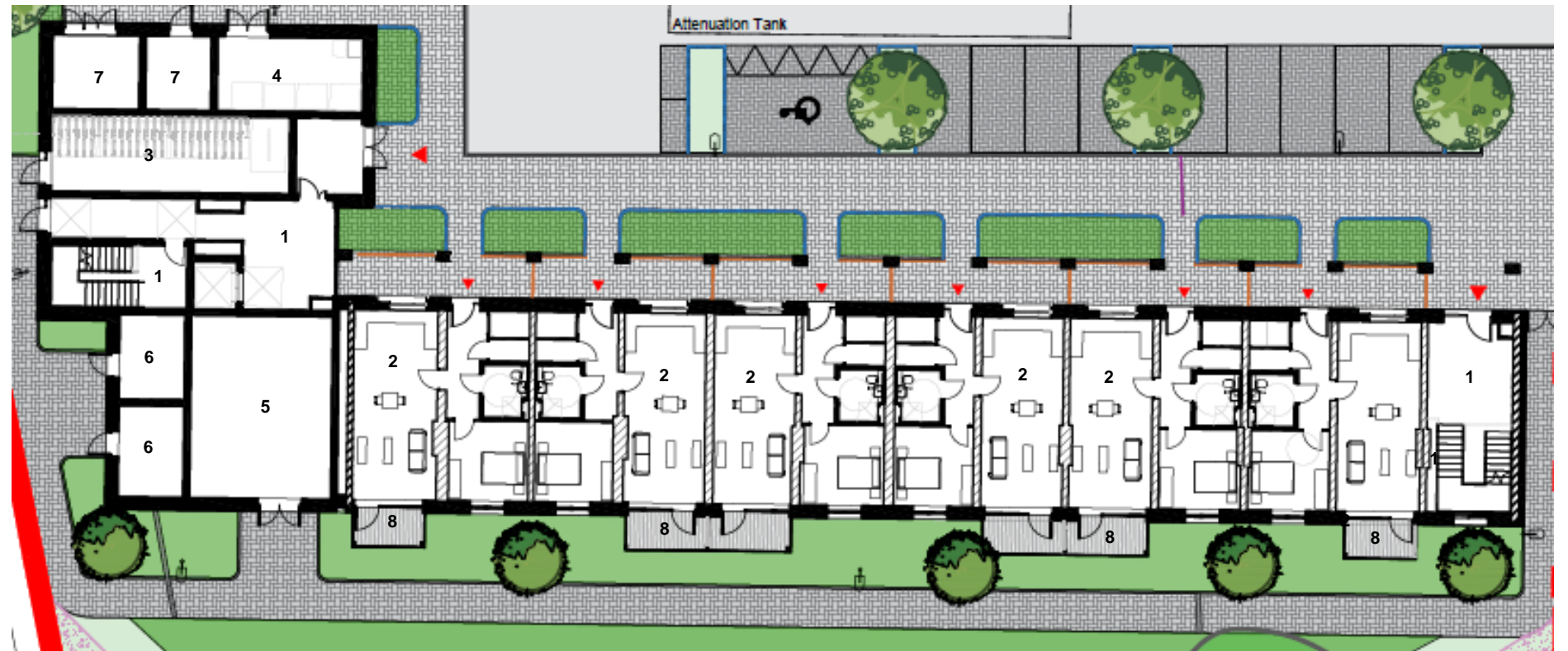


Figure 54: Block C ground floor plan

Legend

1. Communal Staircore
2. Apartment
3. Bike Store
4. Bin Store
5. Plant
6. Comm/Meter Room
7. ESB Substation/Switch Room
8. Terrace/balcony
9. Deck access

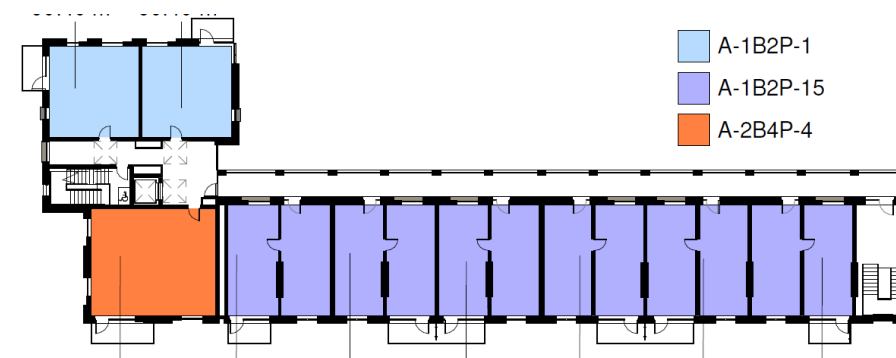


Figure 55: Block C -typical proposed upper floor plan.

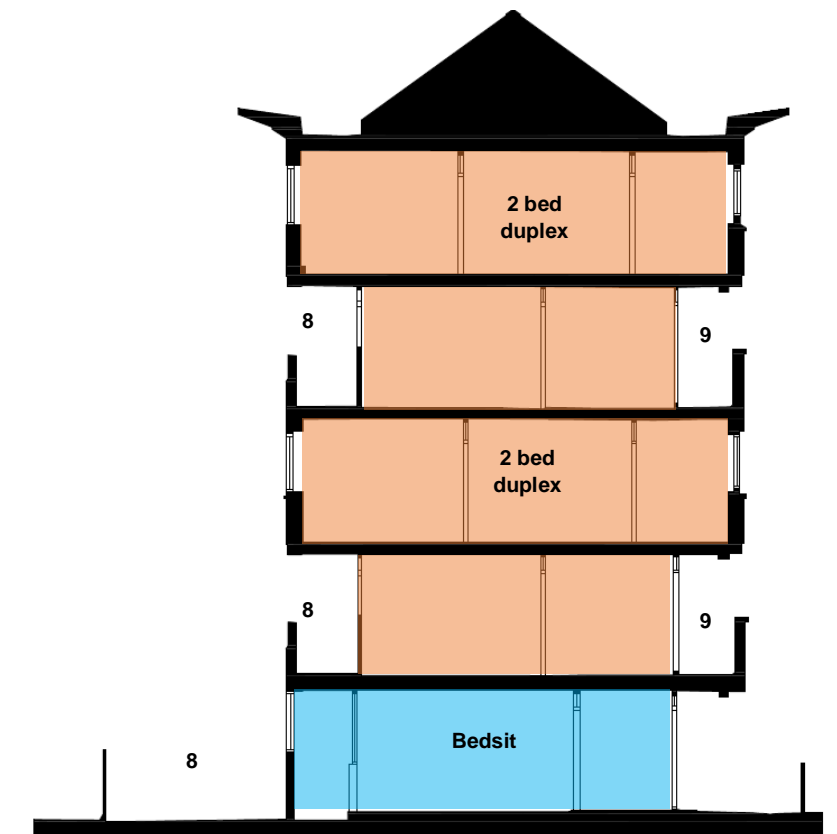


Figure 56: Block C – typical existing section.

5.1.6 Block C – Outline of Works

The detailed design and specification of the upgrade of the building envelope, interiors and services will be developed as the project stages progress. It is envisaged that the scope of works will include:

- Removal of, at a minimum, the external brick and masonry external leaf. The retention of the internal leaf will be dependent on its condition following opening up works and its structural viability to support the new 5 storey envelope following the interventions required for glazing as described below.
- Existing window opes for bedrooms brought down to floor slab level and widened where required to increase the glazing provision to comply with sunlight/daylight requirements.
- Existing window for living rooms widened and brought down to floor slab level for balcony access and provision of sunlight/daylight.
- A new insulated brick and render external envelope as illustrated in the drawings accompanying this application.
- Retention of the existing pitched profile. Replacement of existing felt and tiling battens, local repair or full replacement of the external finishes as required. A full thermal upgrade of the roof to provide continuity with the walls. This will likely require insulated over cladding of the existing overhanging eaves.
- Removal of the existing ground floor slab and provision of a new insulated slab with a radon membrane to comply with Building Regulations.
- A full strip out and replacement of all internal finishes and fixtures.
- A full strip out and replacement of all building services.
- Works required for Building Regulations compliance, notably Part B: Fire Safety, Part E: Sound, Part K: Stairways, Ladders, Ramps and Guards and Part M: Access and Use.

5.1.7 Block C – Design Constraints

A key constraint of retrofitting and extending existing buildings is the structural floor to floor height. The dimensions in Block 5 are c. 2.7m, far below the 3.15m being provided in new build Blocks A & B. The proposed floor levels in the extension must match with the existing levels as the fire safety strategy relies on linking the staircores together via the new deck access. The new lift must also serve the existing building.

At ground level a 2.7m floor to ceiling height cannot be achieved given the existing levels. A 2.4m ceiling height to habitable rooms may be compromised locally to accommodate new building services required to comply with Building Regulations and other relevant technical standards.

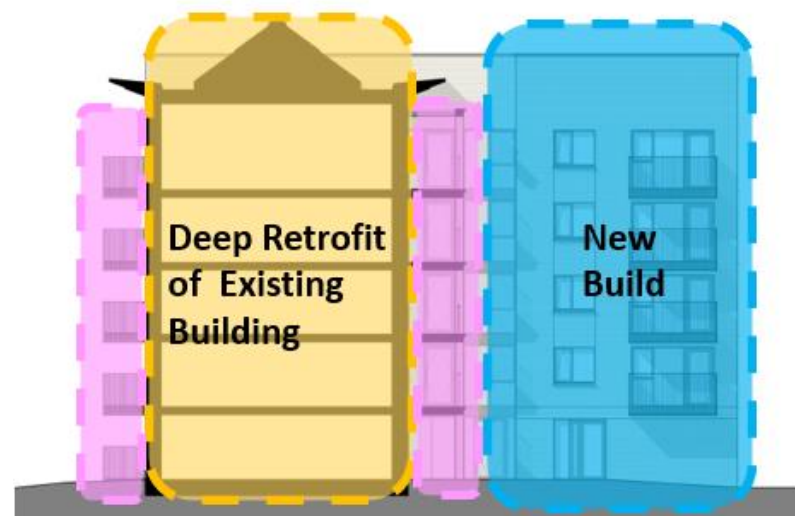
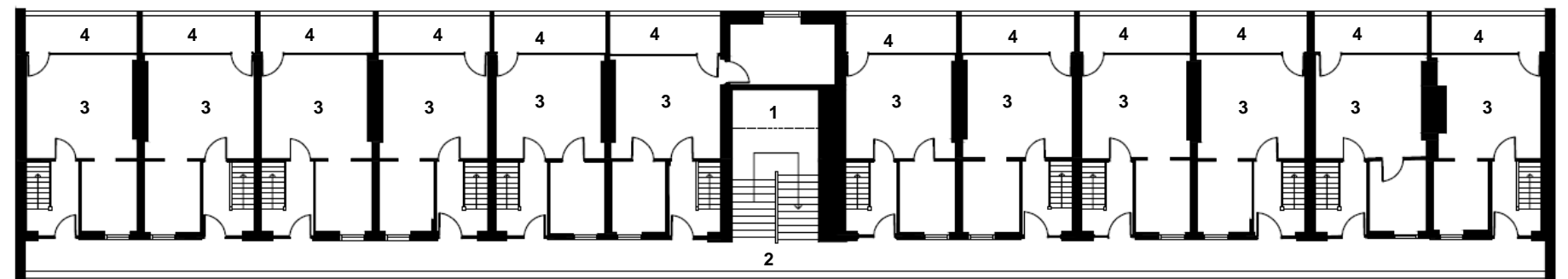


Figure 57: Block C – Development Strategy



Figure 58: Block C- proposed concept view of south elevation from Oisín Kelly Park



Legend

1. Communal Staircore
2. Deck Access
3. Apartment
4. Balcony

Figure 59: Block C – existing first floor plan.

5.2 Height, Scale and Massing

The proposed development is on a prominent infill corner site, with a wide variety of building heights in its immediate context:

- 2 to 4 storey building in St James’s Hospital
- 2 and 3 storey terraced houses on Brandon Terrace
- 4 storey Mary Aikenhead Flats on Basin Street Lower
- 8 storey ‘The Hops’ apartment building on Brandon Terrace adjacent to the Liberty Saints Rugby Club.
- 14 storeys at the ‘Grand Canal Harbour’ apartment development.

The design proposals for the application site have been informed by, but not dictated by the adjacent context. Whilst the base height in SDRA 15 is 6-8 storeys, the heights in this application have been tempered to minimise the impact on the 3 and 4 storey residential buildings on the adjoining sites to the north and east.

- Block A is 4 storeys to Ewington Lane directly facing the 4 storey Mary Aikenhead Flats. The building steps up to 6 storeys and then again to 8 storeys as it addresses the open space of Oisín Kelly Park. The southern gable return to the west steps back down to 5 storeys to ensure adequate daylight to the communal courtyard and emphasise the slender 8 storey wing.
- Block B follows a similar approach with 4 storeys to Basin Street Lower and Brandon Terrace facing the 4 storey Mary Aikenhead Flats and the 3 storey houses. The western wing of Block B steps up to 6 and 8 storeys mirroring Block A opposite. The southern wing steps down to 4 storeys to ensure adequate daylight to the communal courtyard and again to emphasise the slender 8 storey wing. The southeast corner riser to 5 storeys to frame the elevation and hold the corner at Oisín Kelly Park.
- The roofs of the new build Blocks A and B are all flat with c. 1.2m high parapets for safe maintenance access. Roof mounted external plant is contained in louvred screened enclosures that rise above the parapet levels.
- The Block C existing 5 storeys building form with its distinctive roof profile is retained. The western extension is also 5 storeys, although with the floor-to-floor levels aligning with the existing it is lower in height than Blocks A and B. The new roof is flat with parapets and plant enclosure as per Blocks A & B.



Figure 61: Site massing.



Figure 60: Site massing

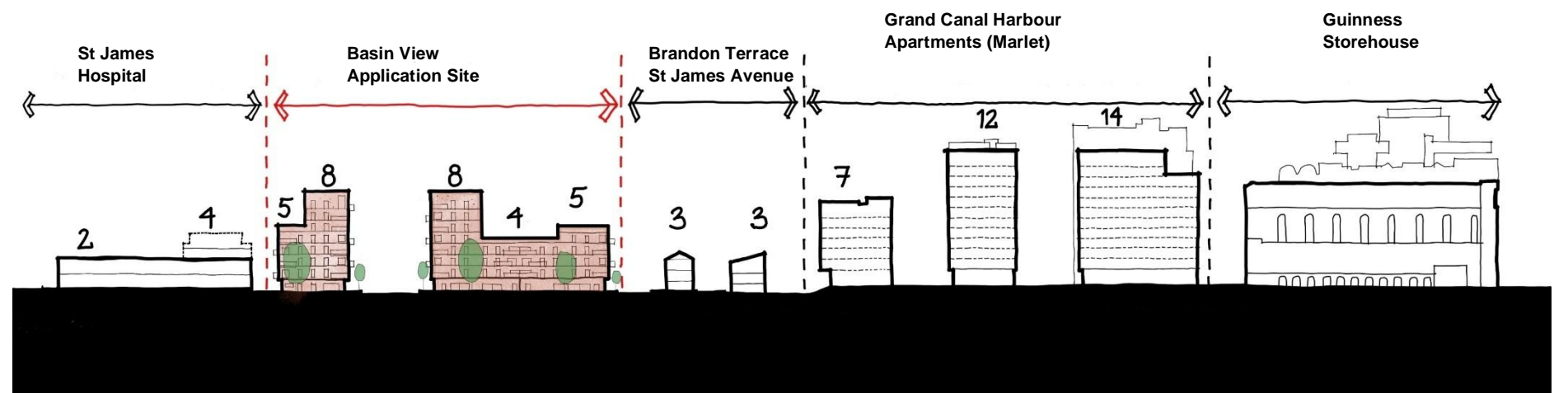


Figure 62: contextual site section – St James Hospital to Grand Canal Harbour apartments

5.3 Materials and finishes.

5.3.1 Existing Context

The buildings in the immediate context of the Basin View site date from several eras with:

- Terraced housing and other structures (19th century)
- Guinness Storehouse (1902-1904)
- Mary Aikenhead House (1935-1945)
- St James's Hospital Central Pathology Laboratory (20th century)
- Basin Grove apartments (20th century)
- Grand Canal Harbour apartments (under construction)

A common theme that unifies these different structures is that they are predominantly clad in brick with panels and bands of render, stone trims and metal cladding in the more recent developments.



Figure 65: Basin Grove apartments, Brandon Terrace

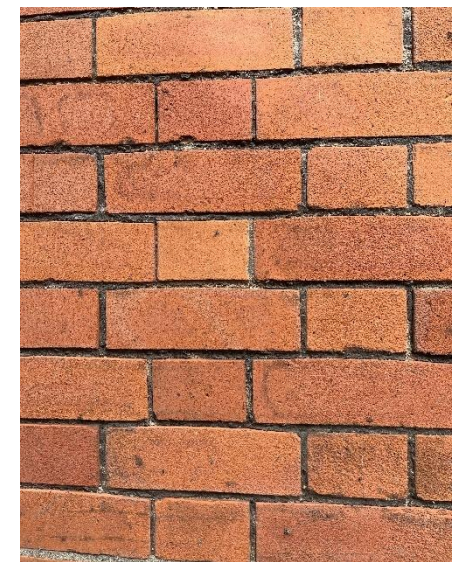
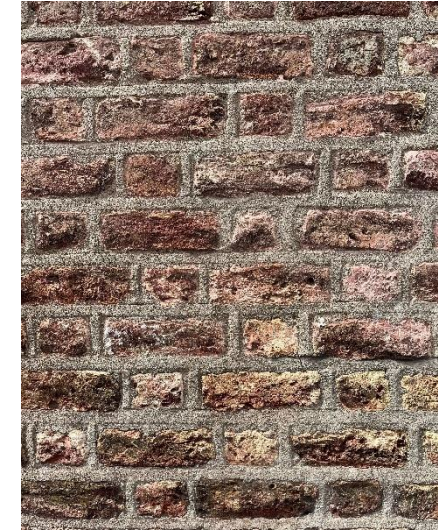


Figure 63: Mary Aikenhead House



Figure 66: St James's Hospital Central Pathology Laboratory



Figure 64: Dwellings on Brandon Terrace



Figure 67: Guinness Store House and Grand Canal Harbour apartments.



Figure 68: Materials in the surrounding context

5.3.2 Cladding Materials – Blocks A & B

This application proposes to harmonise with the contextual materiality in proposing new build high-quality clay brick clad buildings and a retained building extended and partially overlaid in clay brick. As a material brick is robust and durable and with the correct selection is an attractive finish, inherently associated with residential development.

Given the scale of the development two different bricks are proposed that relate to the context and articulate the primary forms and building massing. The brick cladding is supplemented by powder coated aluminium panels to add relief and variety to the elevations. Two different aluminium colours are proposed to pair with the different bricks.

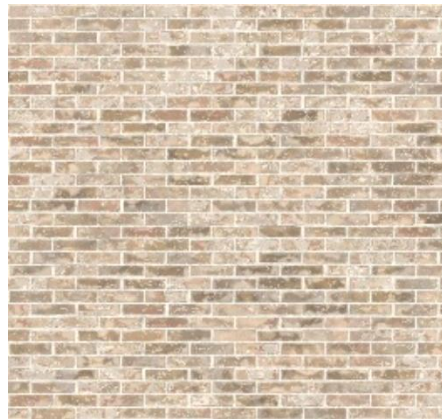
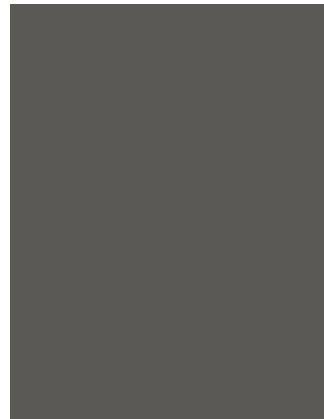


Figure 69: proposed brick type 01



aluminium cladding type 01

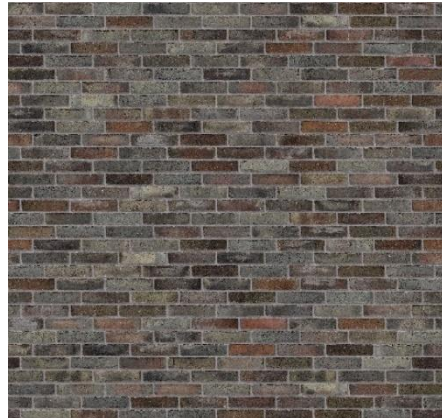
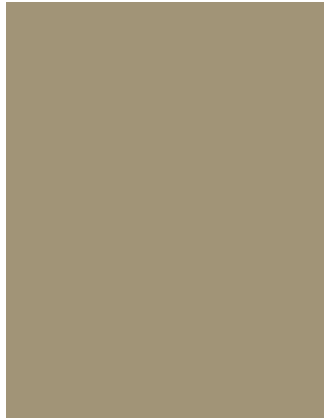


Figure 70: proposed brick type 02



aluminium cladding type 02

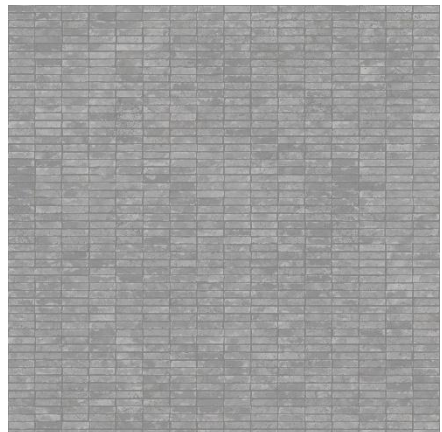


Figure 71: proposed brick to Community/Cultural/Arts/Creche & Render

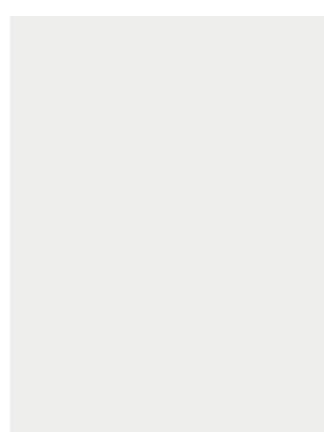


Figure 72: Blocks A & B facing Oisín Kelly Park - concept elevation.

A darker grey aluminium panel type 01, RAL 7022 or similar, is generally paired with the lighter buff multi-coloured textured clay brick type 01. A lighter yellow grey, RAL 7034 or similar, aluminium panel type 02 is paired with the darker multi-coloured brown/grey/red textured clay brick type 02.

The buff brick is proposed for the five, six and eight storey expressed elements of Block A&B facing across the central home zone and holding the corner of Brandon Terrace and Oisín Kelly Park. The lighter bright has been deliberately chosen for these areas to reduce the visual impact of these taller forms.

The stronger darker brick is proposed for the lower four and five storey forms of these blocks relating to the existing building to the site perimeter and facing Oisín Kelly Park. These forms are embellished with horizontal banding at upper floor levels echoing the detailing at the adjoining Mary Aikenhead House and the stone trims in the Guinness buildings. Recessed balconies and some elevations with the communal courtyards are to be rendered in a soft off-white/grey.

5.3.3 Cladding Materials – Block C

To unify the overall development the treatment of Block C on the southern side on Oisín Kelly Park follows the same primary language, elaborated for the retrofit of the existing building. The western five-storey new wing mirrors the corners of Blocks A&B with the lighter buff brick type 01 but with the lighter aluminium type 02 cladding panels.

The new deck access to the north is a colonnade of buff brick forming a screen to the existing building and binding its materiality to the extension. Banding at the floor levels alternates between a deeper continuous band a thinner stepped band spanning between columns, echoing the horizontality of the original building and the treatment of Blocks A&B. The colonnade continues to eaves level with a pergola tying back to the existing structure allowing visibility of the distinctive retained overhanging eaves.

The junction between the new and retained structures at the main entrance is expressed with a recessed full height glazing curtain wall screen. This provides clear visual separation between the new and old and allows for prominence of the main entrance on the foreground.

The buff brick cladding is brought around the full perimeter of the retained building up to second floor level and the 1st continuous band. This brick base reinforces the link between the new and retained. The brick at ground level uses the strongest material in the area where most activity occurs and will require relatively little ongoing maintenance. The walls from second floor to eaves level are rendered as per Blocks A&B that allows the retained building to be read as an element within an overall coherent whole.

The eastern gable facing Basin Grove apartments if overlaid in brick for its full height forming a bookend to the building.

5.3.4 Glazing and Balconies

Aluminium framed windows, doors and louvres and are powder coated with colours aligning with the pairing of the brick and cladding panels. Glazing to living spaces and bedrooms is full height, both to achieve the daylight requirements and provide a pleasing relationship of solid to void in the brick volumes. The glazing systems are set back from the primary building line with a reveal depth of a full brick to provide and clear definition in the façade.

A recessed soldier course, 3 bricks high and the width of a window is provided to the uppermost windows in each building volume terminating the simple stacked glazing arrangement below.

The aluminium cladding panels, adjoin the windows, match the glazing heights, and are also set back from the primary brick building line to articulate the change in materiality.

Balconies are stacked and projecting with vertical metal balustrades to provide relief to the primary building forms. A limited number of balconies at the northern end of the scheme are fully recessed into the brick forms. The walls at the ends of these balconies are returned in brick to meet the recessed building line. The recessed wall with glazing to the living spaces is rendered to contrast with the brick. The powder coating colour of all the metal balconies and railings will match the aluminium/brick/window combination of each form to create an overall calm and balanced appearance.

Aluminium spandrel panels are proposed at first floor level to the duplex units facing Oisín Kelly Park, linking the ground and first floor windows pronouncing their two-storey nature. Aluminium spandrel panels are also provided in several other limited locations such as windows to kitchens to facilitate low level storage units behind them.



Figure 73: Block C entrance - concept elevation.

5.3.5 Community, Communal & Other Areas

The external walls to the Creche and the Community, Cultural and Arts facility, at ground level on Ewington Lane/ Basin Street Lower, are clad in a light grey/white stack bonded textured clay brick. Canopies signifying the entrances and generous floor to ceiling glazing identifies these facilities to the wider public arriving into the site, differentiates these single storey zones from residential use, but utilises the common material language of the scheme design.



Figure 74: Block B - concept elevation to Basin Street Lower.

The communal staircores entrances to all blocks are identified with generous projecting aluminium clad canopies and aluminium spandrel panels to the glazing above, emphasizing the verticality of the spaces within.

More modest projecting aluminium canopies are provided for all own door access units at ground level.

A deep 3 brick high soldier course band running to the full perimeter of Blocks A & B is proposed at first floor level to create a subtle plinth and separate the upper floor residential use from the landlord and communal spaces at ground level.

The doors to the bins, bikes and other service areas at ground level are glazed where possible to provide daylight and opaque where required for functionality.

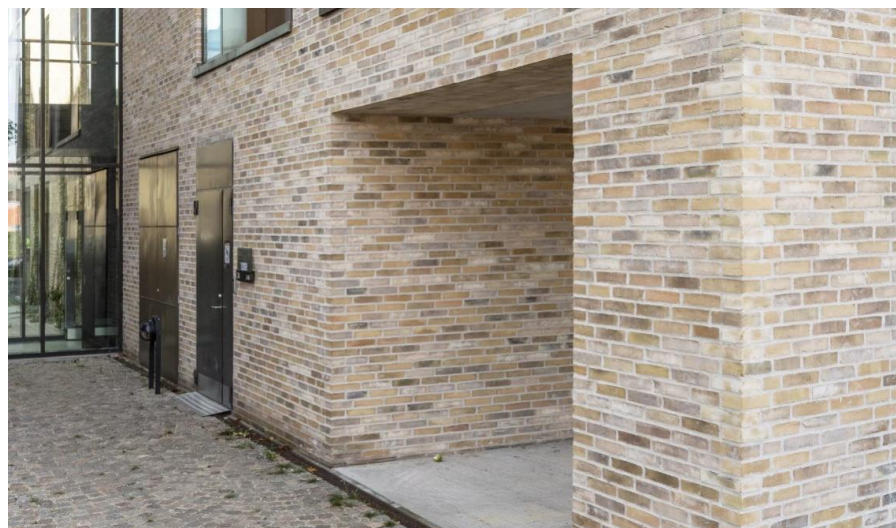


Figure 75: Reference image- buff brick cladding



Figure 76: Blocks A&B – south elevations.



Figure 77: Block C – south elevation



Figure 78: Block A – east elevation

5.3.6 Roof and Plant Areas

All roofs to Blocks A&B are flat and c. 70% of the area is covered in an intensive blue/green build-up to attenuate the surface water and contribute to the biodiversity of the development.



Figure 79: Reference image- intensive blue/green roof.

The balance of c. 30% of the roof areas are to accommodate roof mounted plant and potential PV panels. Plant areas for larger heat pumps and other equipment are fully screened in aluminium louvres, powder coated to match the glazing systems and balustrades. The screening is set back from the primary brick building line to reduce the visual impact.



Figure 80: Reference image- buff brick and aluminium cladding



Figure 81: Block C – view of north elevation across Oisín Kelly Park.



Figure 82: Blocks A&B – north elevations.

5.4 Site Connectivity and Permeability

The proposed site layout adopts the guiding principles of SDRA 15. (refer to Section 3.2 of this report for further details).

- Improved pedestrian infrastructure to the site perimeter supports the pedestrian connection linking Oisín Kelly Park with St James's Linear Park.
- Oisín Kelly Park facilitates a future connection to St James's Hospital across the Luas tracks.

Oisín Kelly park is traversed by several pedestrian routes linking the activity spaces to the public realm and the three buildings.

The built form to the north of the site has been split into two blocks A & B, rather than a single perimeter block as indicated in the Guiding Principles Map in SDRA 15. This increases the permeability through the site and facilitates connection between Oisín Kelly Park and the St James's Hospital Luas Stop.

The varied accommodation at the ground level perimeters of all three buildings provide an active engagement with the street,

Legend

-  Proposed Internal Roadway
-  Pedestrian Connection
-  Own Door Residential Access
-  Communal Staircore Access
-  Community/Cultural/ Arts Access
-  Creche Access
-  Bicycle Store Access

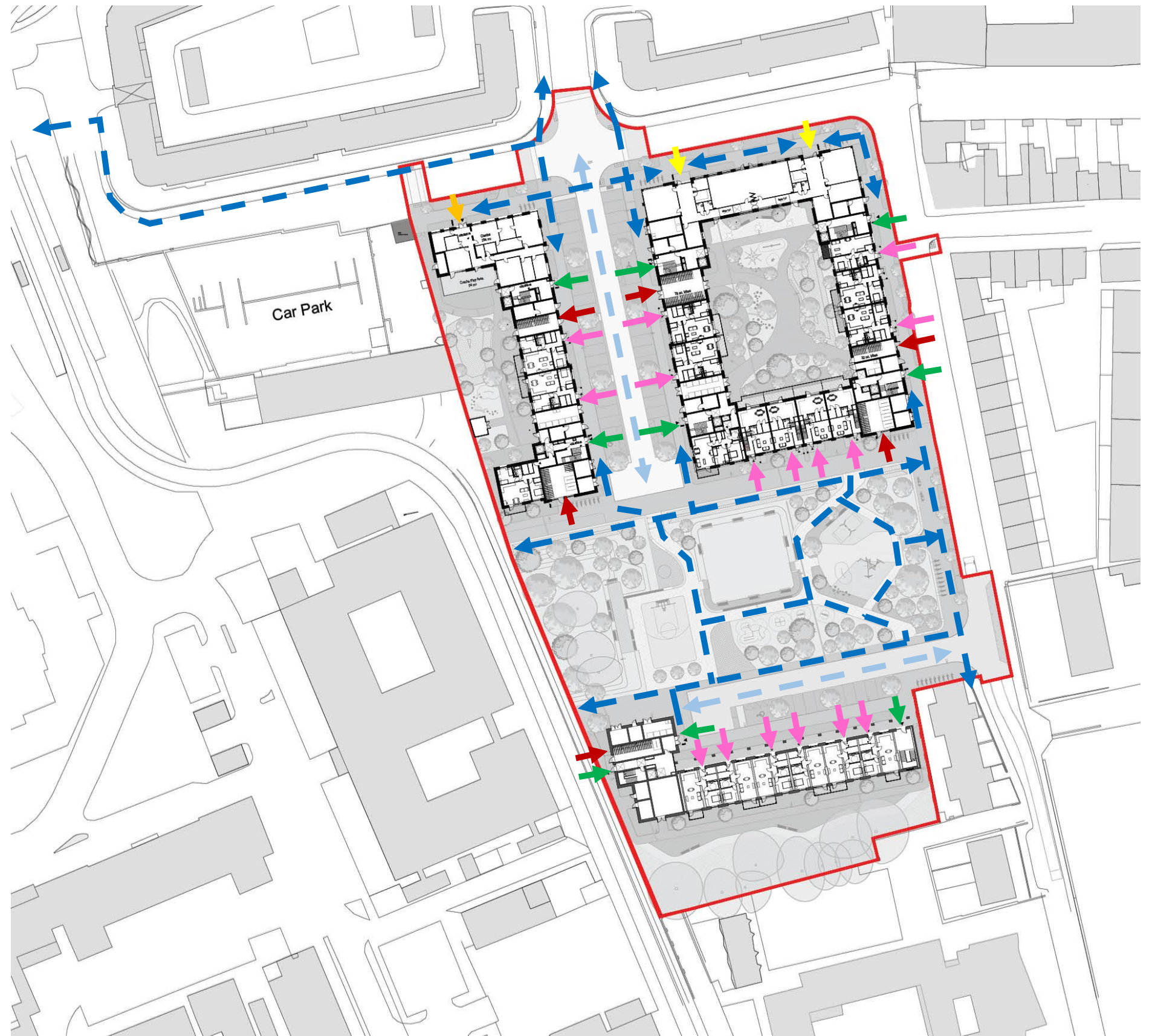


Figure 83: Site Connectivity

5.5 Boundary Treatments

The existing and proposed boundary treatments are identified on Coady Architects drawing '05606 – Site Boundary Treatments' and can be summarised as follows:

- A series of corten steel arches, on axis with the centre of the homezone, frames the northern entrance to Oisín Kelly Park and the view to the proposed sculpture. The form echos the historic basin entrance. Refer to Section 2.4.
- The existing c. 3m high blockwork wall and railing at the St James's Hospital Mortuary boundary is to be retained. On the application site side, the wall will be repointed where necessary and rendered.
- In the zone of the new Oisín Kelly Park, the c 2.7m high fairfaced block wall to the Luas line will be replaced with a new c. 0.7m natural stone clad wall topped by a c. 2m high powder coated railing. The stone is a reference to the historic stone walls of the city basin. The railings will be interrupted by a series of stone piers, whose widths will align with columns to the new Block C deck access. The selected stone and colour of the railings will be coordinated with the brick and aluminium in the new buildings. The approach will retain security for the park but provide visual permeability and allow passive supervision to and from the Luas line. This boundary treatment will continue along a section of the gable to Block C to provide light and openness at the entrance to the bike store and the access from the staircore to the courtyard.
- Two fixed metal railed panels c. 2m wide will be provided in the new western boundary treatment to the north and south of Oisín Kelly Park. These panels will facilitate the future provision of gates or the direct opening up of the park to the Luas line and St James's Hospital campus.
- The remaining section of the existing boundary wall to the Luas line is retained for security and privacy for the Block C communal courtyard. On the application site side, the wall will be repointed where necessary and rendered.
- The 2.4m high painted blockwork wall and c. 1.2m railing along the southern boundary to St James's Primary School will be retained. On the application site side, the wall will be repointed where necessary and rendered.
- The brick clad wall of the rear yards to Basin Grove apartments (nos. 1-8 Brandon terrace) will be retained.
- The eastern edge of the new Oisín Kelly Park will be defined by a polished concrete wall, varying in height low and topped by a railing with an overall height of c 1.2m Similar to the western boundary the colour of the railings will be coordinated with the aluminium in the new buildings. The wall form undulates incorporating benching along the street edge and opens out to a generous welcoming recess at the central entrance. A bronze 'Oisín Kelly Park' sign is proposed to signify the entrance. A bronze plaque set into the pavement is also proposed at this entrance to impart information on Oisín Kelly who was born on James Street. The specification of the signage and text and imagery on the plaque will be agreed with Dublin City Council at the project detailed design stage.
- Powder coated metal gates and railings will be provided at the existing substation on Ewington Lane and to secure the Block A communal courtyard.
- Powder coated metal gates and railings will be provided at the northeast corner of Block C to secure the communal courtyard.

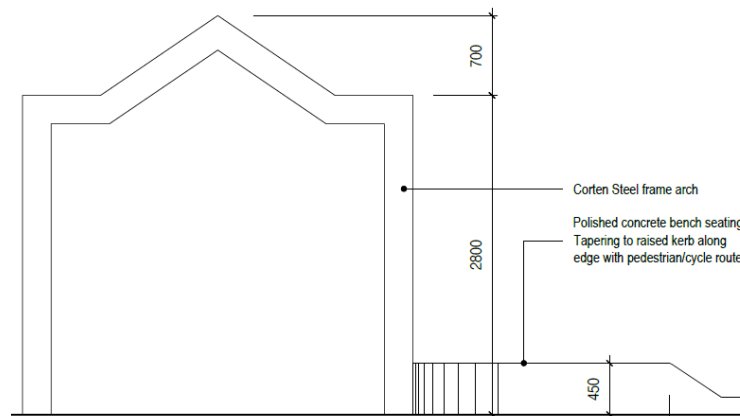


Figure 85: corten steel arches to northern boundary of Oisín Kelly Park

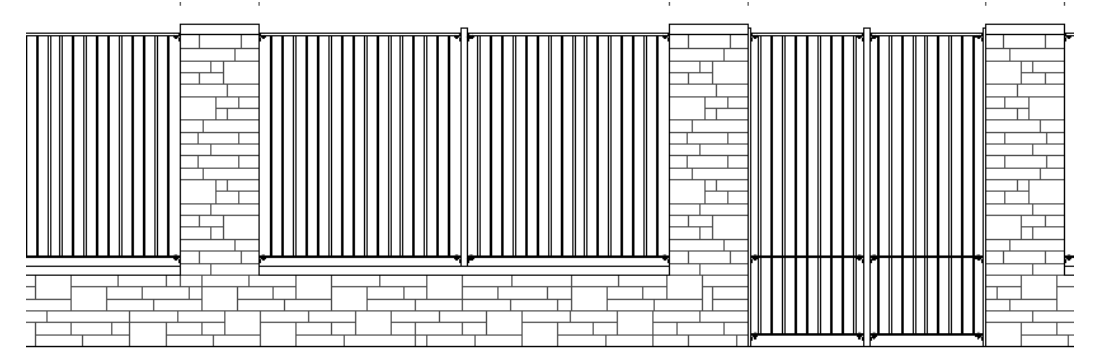


Figure 86: proposed treatment to western boundary of Oisín Kelly Park (Luas Line)



Figure 87: St Patrick (bronze) by Oisín Kelly. Presented by Taoiseach Jack Lynch to Pope John Paul on his visit to Ireland in 1979.



Figure 88: 'Seated Figure' 9Wood)



Figure 89: The Children of Lir (1964) in the Garden of Remembrance

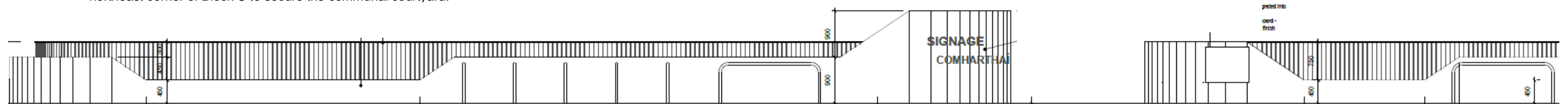


Figure 84: proposed treatment to eastern boundary of Oisín Kelly Park (Brandon Terrace).

5.6 Wind Microclimate Modelling

This application includes a Wind Microclimate Modelling Report prepared by B-Fluid. This consist of an assessment of the wind microclimate of the site with the proposed development surrounded by existing buildings.

The effect of the geometry, height and massing of the proposed development and existing surroundings including topography, ground roughness and landscaping of the site, on local wind speed and direction as well as the expected pedestrian activity has been considered.

The evaluation of the proposed scenario indicates that the planned development aligns with the Lawson Comfort Criteria, confirming that no areas are unsafe, and the proposed development does not create conditions of distress. All the ground and the courtyard amenities can be utilized according to their intended scope. All balconies are safe for occupants and there are no identified distress areas.

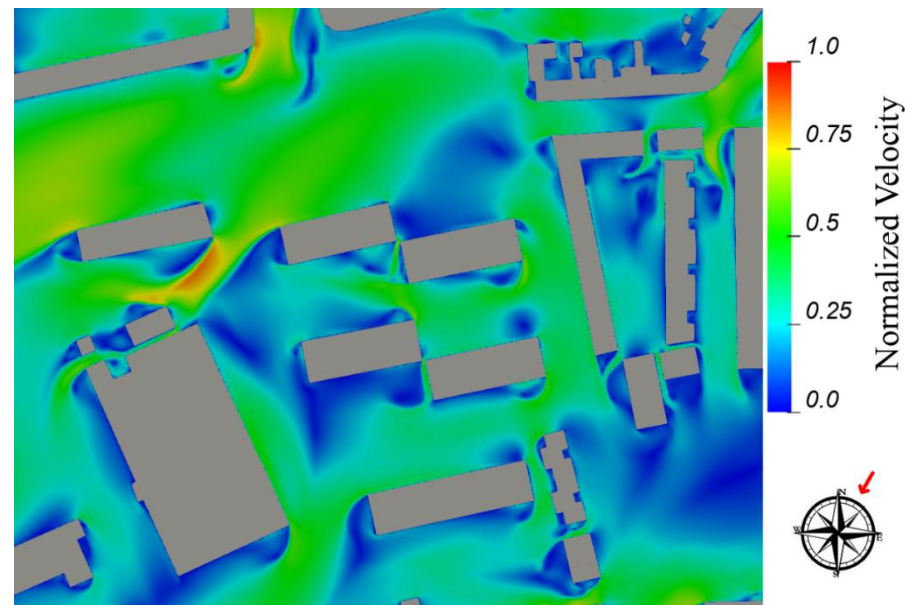


Figure 90: Baseline - flow velocity results at 1.5m above the ground – Wind direction 30°

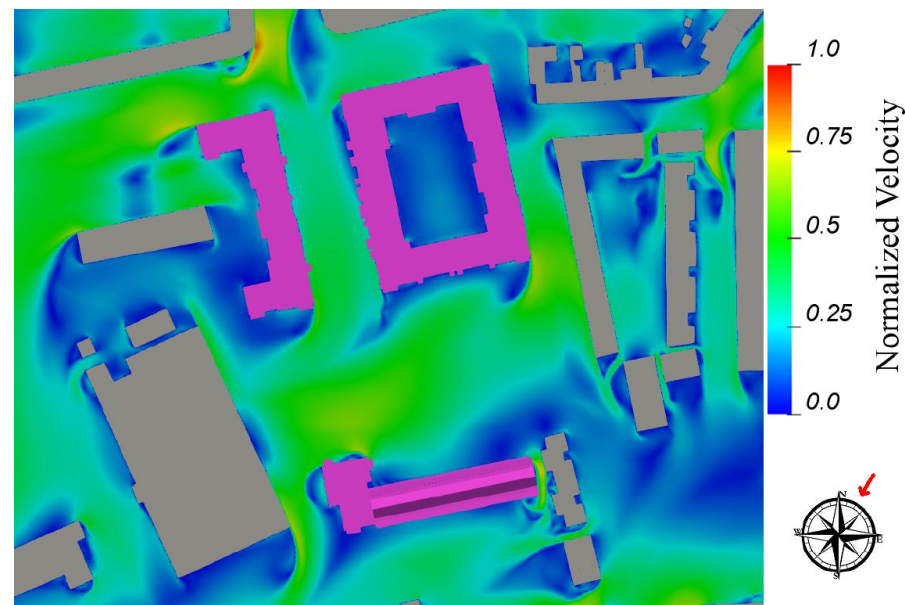


Figure 91: Proposed - flow velocity results at 1.5m above the ground – Wind direction 30°



Figure 92: microclimate computational fluid dynamic (CFD) model- Baseline Scenario

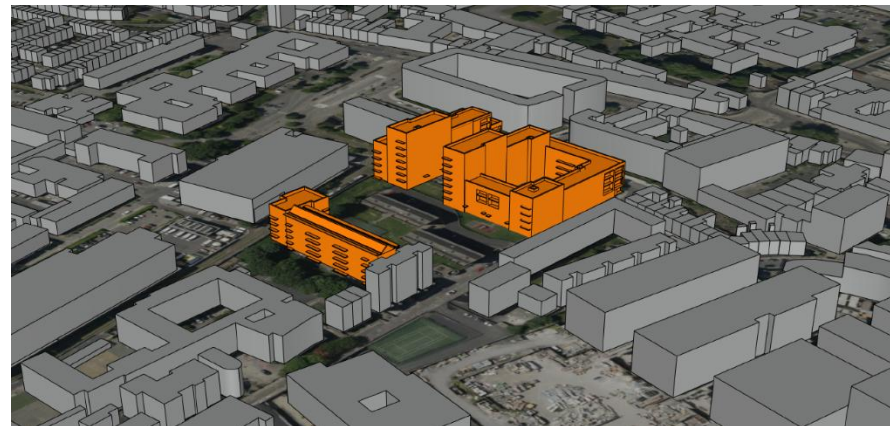


Figure 93: microclimate computational fluid dynamic (CFD) model- Proposed Scenario



Figure 94: Proposed view down St James Avenue towards Block B western elevation

As a result of the proposed development construction, the wind on the surrounding urban context remains suitable for the intended use when compared with the baseline situation. The proposed development does not impact or give rise to negative or critical wind speed profiles at the nearby adjacent roads, or nearby buildings. Moreover, in terms of distress, no critical conditions were found for “Frail persons or cyclists” and for members of the public in the surrounding of the development. Refer to B-Fluid report for further details.

5.7 Waste Management

To ensure that design proposals comply with relevant legislation and the objectives of the Development Plan, an Operational Waste Management Plan (OWMP) has been prepared and accompanies this application. This report includes the strategies for achieving sustainable methods of waste and recycling management during the operation of the development. Provisions for dealing with the estimated waste arising from the development have been made in the sizing and locations of the bin stores included in each Block. These rooms will be brightly lit, safe and spacious enough for easy manoeuvrability, be well ventilated and have ready access if required for the control of potential vermin. Sufficient access and egress are provided to enable receptables to be moved easily from the storage area to the collection points within the curtilage of the development.

Refer to the Traynor Environmental OWMP for further information.

6. OPEN SPACE

6.1 Landscape Design Strategy

The landscape design proposals provide for a varied, accessible, and permeable open space network for public and community use that as it matures will become a significant resource.

The design incorporates wildlife considerations in the retention/ protection/ management and reinforcement of existing treelines. All landscaped areas are designed to be attractive and usable, catering for both active and passive uses and at the same time fulfilling the objectives of movement and access, biodiversity enhancement and nature-based SUDS requirements.

At the centre of the development is the relocated Oisín Kelly Park, a dynamic open space incorporating amenities for all age groups. Oisín Kelly, a renowned artist and sculptor grew up locally to the Basin View development site. His famous works include the Jim Larkin or “Big Jim” (1977) located on O’Connell Street, The Children of Lir (1964) in the Garden of Remembrance, and The Chariot of Fire in the Irish Life Centre, Dublin (1982). His earlier works concentrated on small wood carvings. Throughout his career, he returned to wood many times, and it was seen as his favourite medium. Integral to the design of the park are references to the renowned artist by way of a space for a sculpture, timber furniture, and material choices.

The park is comprised of several different spaces with a range of intended uses. These include:

- An amphitheatre which references the history of the site and serves as part of the park’s community, culture, and arts space. The function of the space is as a flexible amenity lawn which can accommodate small social/community gatherings and events.
- A football / basketball area supported by bleacher-style seating to the north and west which are recessed into the slope in the landscape.
- A playground at the eastern end of the open space for younger age groups.
- Exercise equipment at the southern edge of the park for older age groups.
- A space to support a sculpture referencing the artist Oisín Kelly.

The park will be supplemented by a communal open space for each of the proposed residential buildings, providing community gathering and flexible recreation opportunities, as well as spaces to support the internal uses of the buildings, such as the creche and the community, culture, and arts area.

All amenity spaces come together to form a cohesive network. They are designed to provide formal and informal recreative and active opportunities. SuDS features will be incorporated into the landscape design as opportunity rather than constraint.

Existing trees along the boundaries will be protected, retained, and managed to maximise the visual softening of the proposed scheme and to maintain and improve site’s biodiversity.

The landscaping and biodiversity proposals are described in detail in the Landscape Report from Mitchell & Associates.



Figure 95: proposed landscape plan



6.2 Public Open Space

A minimum provision of 10% public open space (POS) is required, as per the development standards. The relocated Oisín Kelly Park in the central area to the site as per the Z9 zoning exceeds this provision.

The POS is accessible to both the new residents, and the wider existing community. The external element of the Community/Cultural/Art facility (refer to Section 9) and the permeability through the site have been carefully considered to activate the space.

The site layout allows for good passive surveillance from the residents of Blocks A, B and C. The proposed location also ensures that overshadowing is minimised with direct access to east and west sunlight to ensure it is bright and attractive during the day, maximising the potential for it to be well used. The 5 storey Block C is separated from the POS by its internal road and parking minimising overshadowing from the south. The POS also benefits from the retention of the existing mature trees to the western boundary, in addition to the proposed new landscape interventions. Calculations are based on the net site area excluding the public roads and paths, consistent with the density calculation. See table below for POS demand and provision:

POS	Area (Ha)	%
Site Area (Net)	1.57	100%
Required	0.157	10%
Delivered	0.38	24%

6.3 Communal Open Space

Within the overall development separate communal open spaces are provided for each apartment block. These courtyard areas are enclosed by the forms of the proposed buildings, supplemented by railings and gates being brought to the western site boundary. This arrangement ensures that the communal spaces are clearly defined, secure, with access only possible for residents or invited guests. Communal amenities, such as bin and cycle storage are accessible from the courtyards and help to ensure that the spaces are actively utilised. A mix of uses are proposed within the communal open spaces, and further details can be found within the landscape documentation included separately within application.

The following table sets out the minimum requirements and actual provision of communal open space for the development. The quantum of communal open space proposed is significantly in excess of the requirement.

COS	Total	M ² /apt	Total M ²
1B2P Apartment	83	5	415
2B4P Apartment	71	7	497
3B5P Apartment	13	9	117
4B7P Apartment	4	11	44
Required			1073
Delivered			2748

6.4 Public Realm Contribution

The proposed development will revitalise a current brownfield site, provide a building line to Ewington Lane and Brandon Terrace defining the urban edge. The development will also provide a public realm contribution in the provision of the central Public Open Space.

6.5 Private Open Space

At ground level, perimeter apartments are provided with private terraces facing the communal courtyards or towards the central POS. In both instances generous buffer planting and balustrades are provided to ensure sufficient privacy and security for residents.

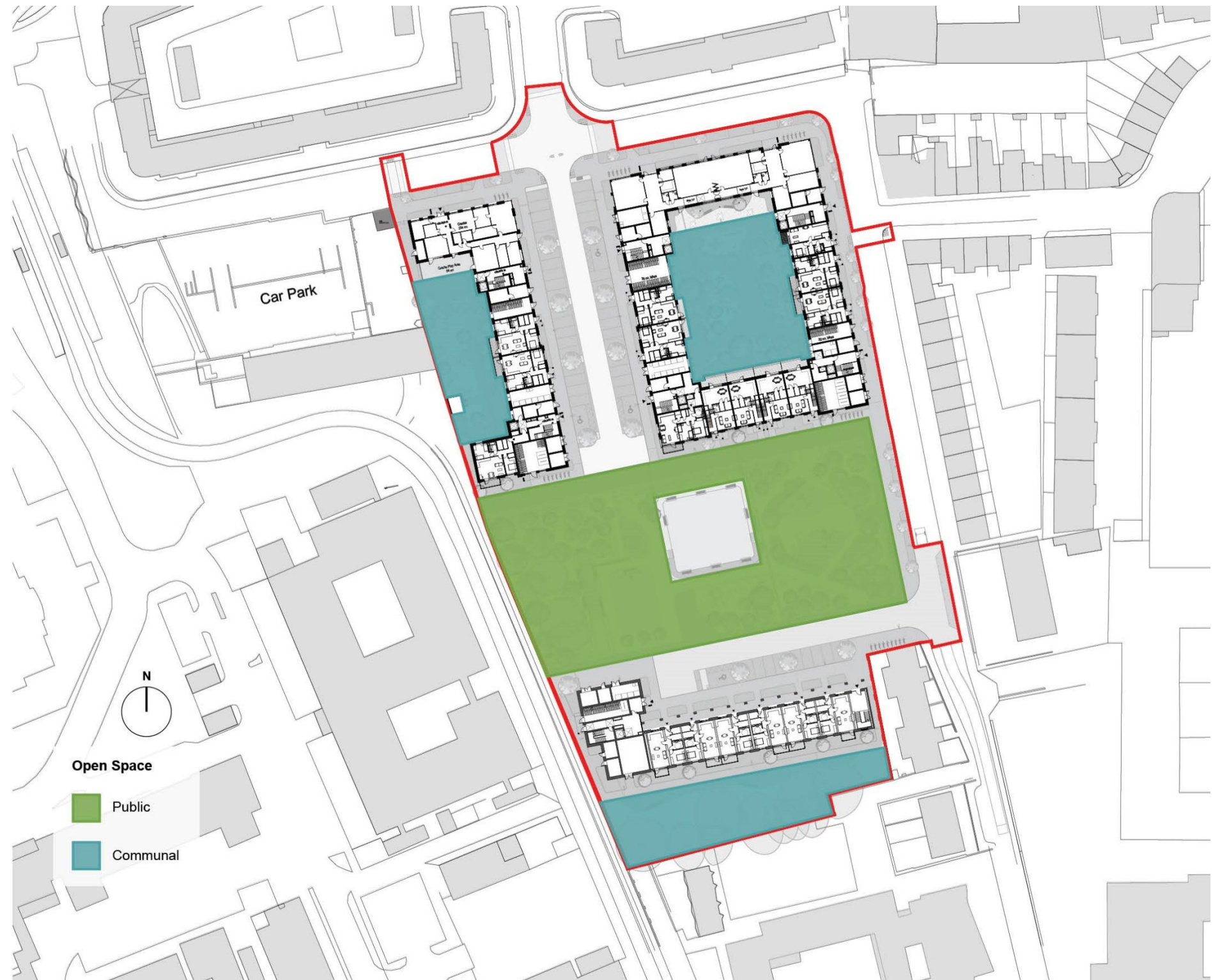


Figure 96: public and communal open space.

At upper floors, each apartment has a balcony projecting from the primary building form. In the limited instances where balconies adjoin, privacy screens are provided for separation between residents.

Balconies are generally finished with a vertical metal railing powder coated to match the glazing, to offer visual permeability for views to the surroundings context. Each balcony is sized to meet or exceed the minimum area targets of 5m² for 1B2P, 7m² for 2B4P and 9m² for 3B5P.

7. RESIDENTIAL AMENITY

7.1 Compliance with Internal Design Standards

All apartments have been designed to comply with the current DCC Development Plan (2022-2028), and with the design standards for new apartments-guidelines for planning authorities (2022).

A full breakdown of the statistics associated with the individual unit types in contained in the Housing Quality Assessment.

Proposed standard new build apartments in all Blocks are typically:

- 1B2P apartment - Gross Internal Floor Area (GIFA) = 50.4m² to 53.6m²
- 2B4P apartment - Gross Internal Floor Area (GIFA) = 75.6m² to 78.5m²
- 3B5P apartment - Gross Internal Floor Area (GIFA) = 95m² to 99.6m²

Proposed new build UD apartments are typically:

- 1B2P UD – Gross Internal Floor Area (GIFA) = 53.7m²
- 2B4P UD - Gross Internal Floor Area (GIFA) = 81m²

The units provided in the retained structure of Block C are larger than the new build, due to the size of the bays between the existing structural cross walls. This has led to all of these 1 bed units being UD apartments and significantly larger than the minimum areas required:

- 1B2P UD – Gross Internal Floor Area (GIFA) = 68.8m² to 70.1m²

The minimum provision of 50% '+10%' apartments is easily achieved with 78% of the units exceed minimum area plus 10%.

39% of the units are UD apartments, exceeding the 25% minimum target.

74% of the units are dual aspect.



Figure 97: proposed view of Block A from Ewington Lane

7.2 Daylight and Sunlight

A daylight and sunlight assessment has been completed for the proposed development, and the Digital Dimensions report is included separately as part of this submission.

The assessment concluded that the proposed development meets the recommendations of the BRE guidelines BR209:2022 (third edition). All the rooms within the proposed development achieve the minimum target daylight levels set out in BS EN 17037:2018+A1:2021 as referred to in The BRE guidelines BR209:2022 (third edition) and no compensatory measures are required. There will be minimal reduction to the daylight or sunlight availability of the adjacent properties and the windows retain a VSC in line with and above expectations for an inner-city location.

7.2.1 Daylight to Adjacent Properties

The majority of the window the neighbouring residential properties retain a VSC level greater that 27% or if less than 27% VSC then they are not reduced below 80% of their existing value. There are a small number of windows that have a reduction below 27% VSC.

In considering the level of impact, it must be acknowledged that the proposed development is located on an infill site where it would be impossible to avoid a level of perceptible impact on neighbouring properties, without severely limiting the height of development.

The impact on the VSC levels is in-line with the recommendations for developments in urban locations and the Sustainable and Compact Settlements: Guidelines for Planning Authorities (2024).

7.2.2 Sunlight to Adjacent Properties

The majority of windows assessed exceed the target values set out for annual and winter probable sunlight hours. Reductions are limited and in line with a development in an inner-city location.

The communal and private amenity spaces in the neighbouring dwellings do not face towards the proposed development and their access to sunlight would not be affected by the proposed development.

There will be no reduction in sunlight to any of the neighbouring communal or private amenity spaces with a requirement for sunlight and the proposed development meets the requirements of the BRE guidelines (2022).

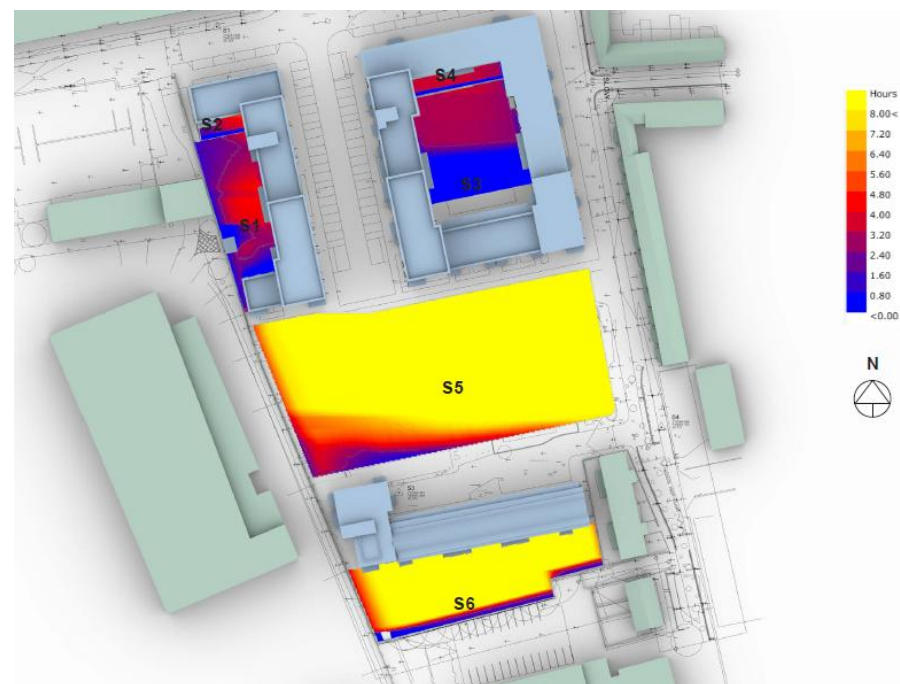


Figure 98: sunlight to amenity within the proposed development.

7.2.3 Assessment of Daylight within the Proposed Development

100% of the Living, Dining, Kitchen and Bedroom spaces within the proposed development achieve the target values set out in BS EN 17037:2018+A1:2021 section NA.1. These are the minimum values, per specified use, to be achieved in habitable rooms and meet the recommendations of the BRE guidelines.

7.2.4 Assessment of Sunlight within the Proposed Development

This scheme is well designed for sunlight, with 74.9% of units meeting the minimum recommended 1.5 direct sunlight hours. This is in line with the BRE guideline example for an apartment layout where 1 in 5 achieves the target sunlight hours.



Figure 99: proposed site plan showing the zone of influence on adjoining properties.

7.2.5 Sunlight to the Amenity Space within the Proposed Development.

All of the proposed communal and public amenity spaces achieve sunlight levels that exceed 2 hours sunlight over 50% of the amenity space on the 21st of March. The minimum communal open space required for Block B is 547m². 788 m² achieves the 2 hours sunlight as illustrated in Fig. 96.



Figure 100: Mary Aikenhead House, View of model locating VSC & APSH test points.

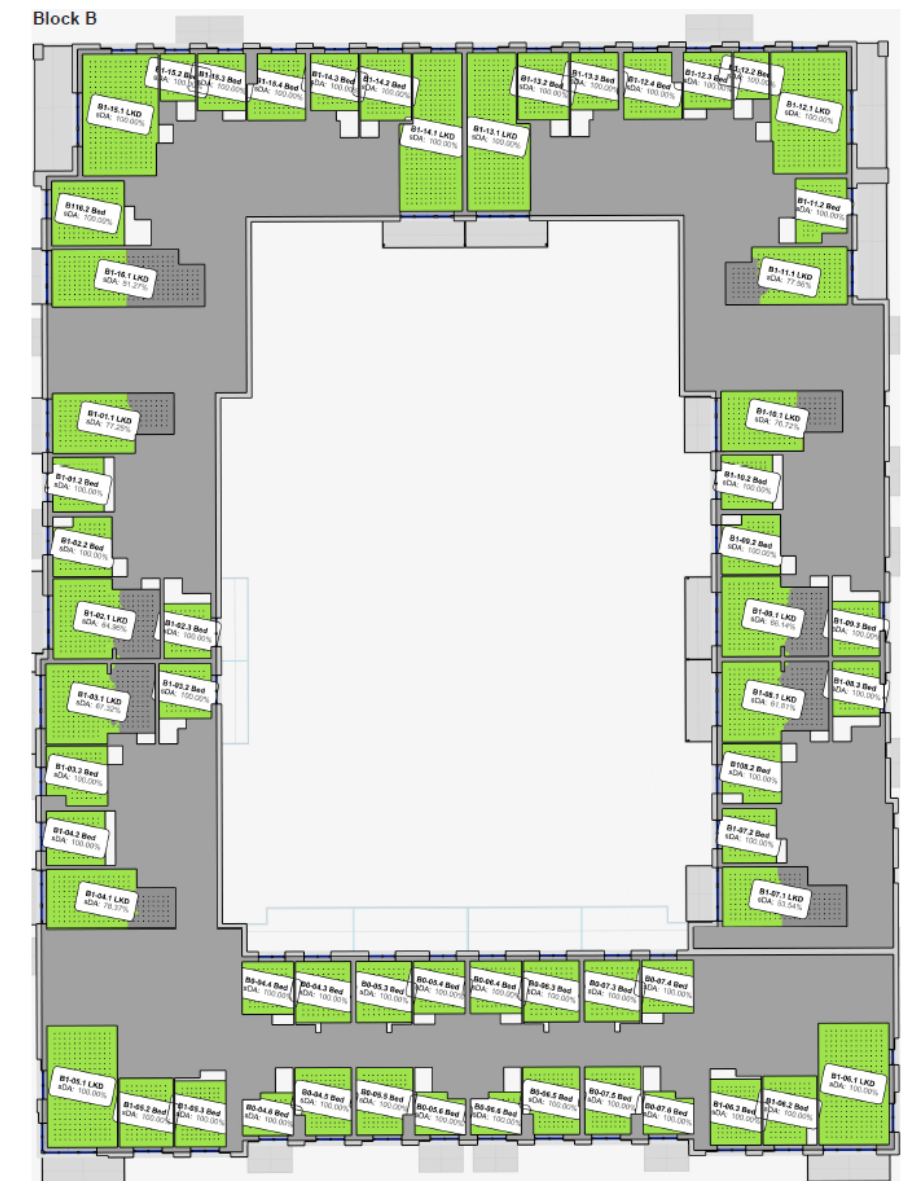


Figure 101: block B first floor minimum room specific daylight provision.

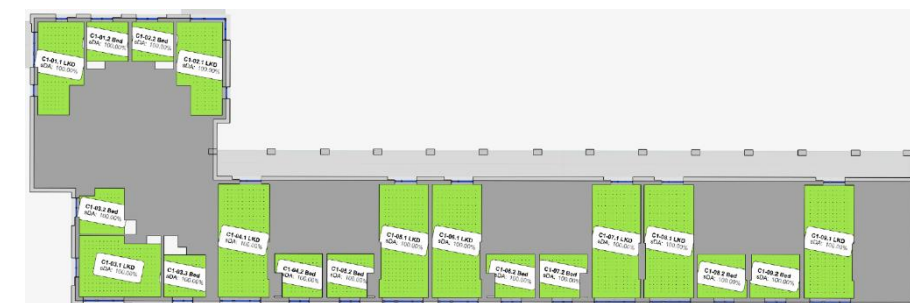


Figure 102: block C third floor minimum room specific daylight provision.

7.3 Overlooking, Overbearing, Overshadowing

7.3.1 Overlooking and Overbearing

The layout of the proposed building forms as described in Section 5.1 has been carefully considered, particularly in their relationships to the adjoining residential developments.

The new building line to Ewington Lane/ Basin Street Lower have been set back c 6.2m to 6.8m from the existing kerb line to provide separation distances of 20.7m to 21.6m to Mary Aikenhead House Flats.

The new building line to Brandon Terrace has been set back c 3.9m to 4.7m from the existing kerb line to provide separation distances of c. 14.8m to 15.5m to the opposing dwellings. These values compare favourably to the separation distances between the gables of existing Blocks 1 and 3 and the existing buildings of c. 14.3m to 17.6m.

There are no projecting balconies on elevations to the Ewington Lane, Basin Street Lower or Brandon Terrace and no overlooking of adjoining rear gardens of residential courtyards.

A blank eastern gable has been maintained to Block C with a privacy screen provided to the new balconies nearest Basin Grove apartments on Brandon Terrace. The new projecting balconies to the south elevation of Block C have over 40m separation from St James's Primary School and are screened by a significant line of mature trees.

The building heights have been considered to meet the minimum 100uph required by the Development Plan whilst protecting the existing adjoining residential amenity. The 8 storey elements of Block A and B are in the centre of the site, furthest from the existing adjoining buildings. Both Blocks A & B step down to 4 storeys at Ewington Lane, Basin Street Lower and Brandon Terrace to minimising overbearing and overshadowing.

7.3.2 Overshadowing

The orientation, heights and setbacks to adjacent properties ensure that there are no overshadowing implications. The shadow assessment by Digital Dimensions indicates that the shadows caused by the development do not extend to any private garden or amenity space with a requirement for sunlight on the 21st march and no detailed assessment is required.

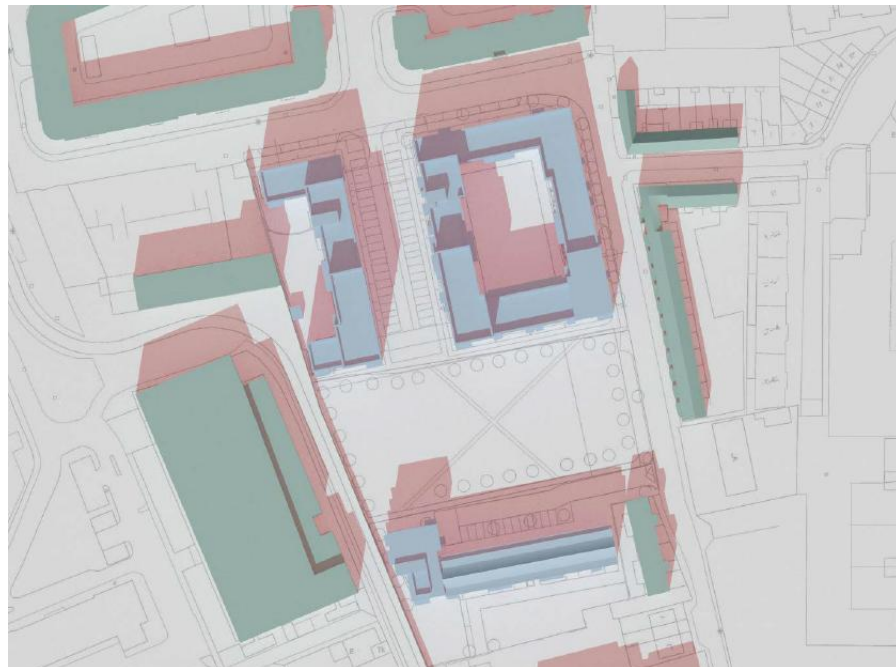


Figure 103: Shadow diagrams 21 March 13:00 UTC.

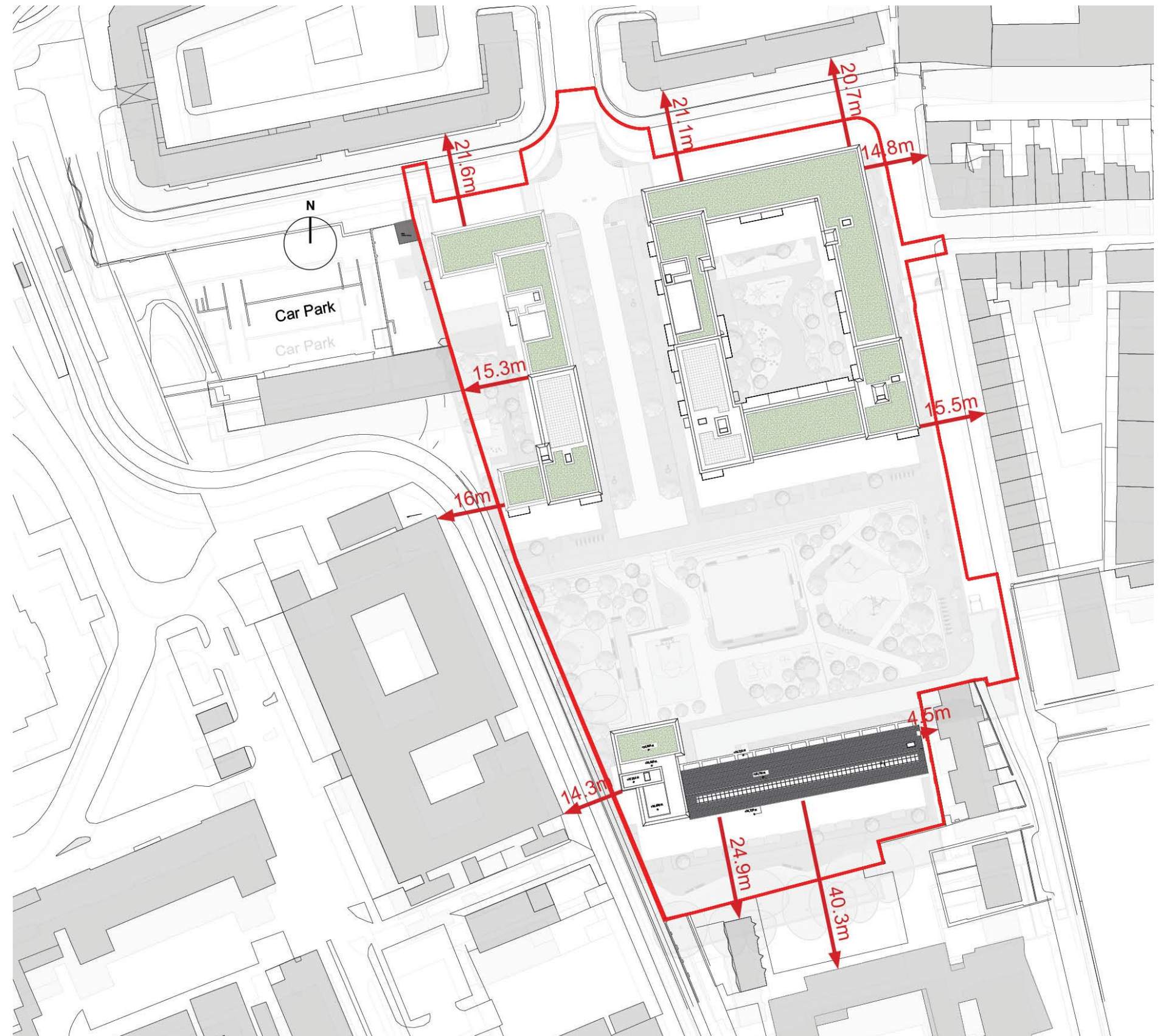


Figure 104: distances to boundaries.

8. ACCESS, CAR, AND CYCLE PARKING

8.1 Compliance with DMURS

In line with National Policy, the development objective for the proposed site is to provide for infill development, in an urban location with good transport links. This helps to fulfil one of the primary objectives of DMURs, which is to encourage more sustainable travel, with pedestrians at the top of the user hierarchy, then cyclists, public transport and finally, private vehicles.

The site is an infill development, with two vehicular entrances to public roadways, but no vehicular through routes are proposed. Pedestrian connectivity is provided through Oisín Kelly Park and the home zone between Blocks A&B.

A Road Safety and Quality Audit has been undertaken and the recommendations adopted in the refinement of the design.

Full details for compliance with DMURS in the design of the layout of the internal road network are contained in the engineering reports included in this application.

8.2 Car Parking & Delivery Vehicles

Surface carparking is proposed along the new internal road network to serve each block with accessible spaces as required by Technical Guidance Document Part M. The site is located in Zone 1 and the carparking provision and ratio is as per the table included below:

Car Parking	Total	%
Residents Standard Parking	47	86%
Residents Accessible Parking	4	7%
Total Apartments	171	
Total Residents Parking	51	
Residential Parking Ratio	0.3	
Creche	2	3.5%
Community/Cultural/Arts	2	3.5%
Total Parking	55	100%
Total Parking Ratio	0.32	
Delivery Vehicles	2	
Motorcycles	6	

Car parking for the Creche and Community, Cultural and Art facility has been provided in accordance with the 2022- 2028 Development Plan Appendix 5: Table 2, a maximum of 1 per 100m² for a Creche and 1 per 350m² for a Community Centre.

Areas for the temporary parking of a delivery vans is provided for each new building.

Vehicular maintenance access to the substations and switch rooms has been provided in accordance with ESB requirements.

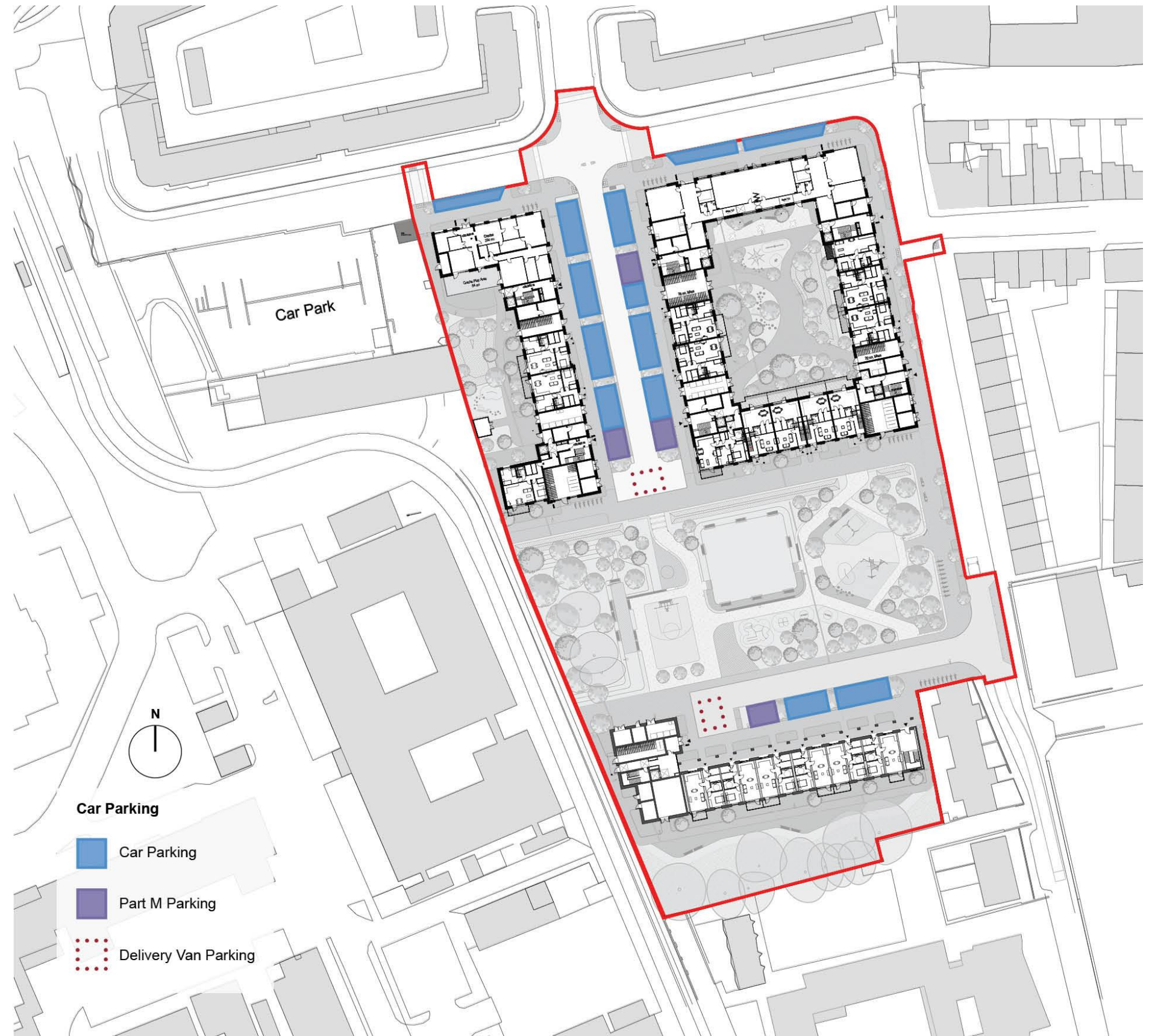


Figure 105: proposed car parking.

8.3 Cycle Parking

For long term cycle parking, dedicated stores have been provided for each building. The provision for Blocks A and B has been split into several smaller rooms distributed across the ground floor plans with easy access from the public and internal roads and paths. The smaller store for Block C is located to the west elevation with a pathway linking it to the entrance forecourt. An entrance to the common entrance hall has been provided in this elevation for access to the bicycle store and the communal courtyard to the south of the retained building.

Bicycle stores are in the form of secure indoor rooms with good lighting and are accessed by means of well overlooked, access-controlled doors on the building perimeter to the public realm. Visitor bicycle parking in the public realm is well overlooked from apartments above.

Both short term and long-term cycle parking has been provided as per Table 1, Appendix 5, Volume 2 of the Dublin City Development Plan 2022 - 2028. Demand and supply is as per the table below. The layout and arrangement of the proposed Cycle stores is compliant with The National Cycle Manual (2023), in terms of the functional dimensions and quality of parking facilities and the type of access to and from the spaces. The National Cycle Manual also advises on minimum provision of cargo bike parking, and the demand and supply has been provided in the table below. An EV charging point will also be provided in each bicycle store.

Short term cycle parking for visitors is provided in small clusters at the building perimeters. The Creche, Community, Arts and Cultural spaces will also generate some short-term visitor parking, with a very modest number of long-term spaces for staff. However, as the long-term requirements are particularly low, it is proposed that both long term and short-term parking for these facilities will be located within the public realm at the respective entrances.

Demand and supply calculations are as per the table below:

Cycle Parking	No. of Units	Required		Proposed	
		Long Term	Short Term	Long Term	Short Term
1B2P Apartment	83	83	41.5	83	41.5
2B3P Apartment	71	142	35.5	142	35.5
3B5P Apartment	13	39	6.5	39	6.5
4B7P Duplex	4	16	2	16	2
Creche		2	6	2	6
Community, Cultural & Arts		2	6	2	6
Total		284	98	284	98

8.4 Emergency Access Vehicle Strategy

It is proposed that Emergency Access Vehicles (EAVs) will have access to the outer building perimeter of all buildings through the internal roadways and over areas of paving and reinforced grass, with direct access to each of the stair cores. The proposed routes have been auto track designed for a suitable high-reach fire tender, and details are included in the civil engineering documentation of this application.

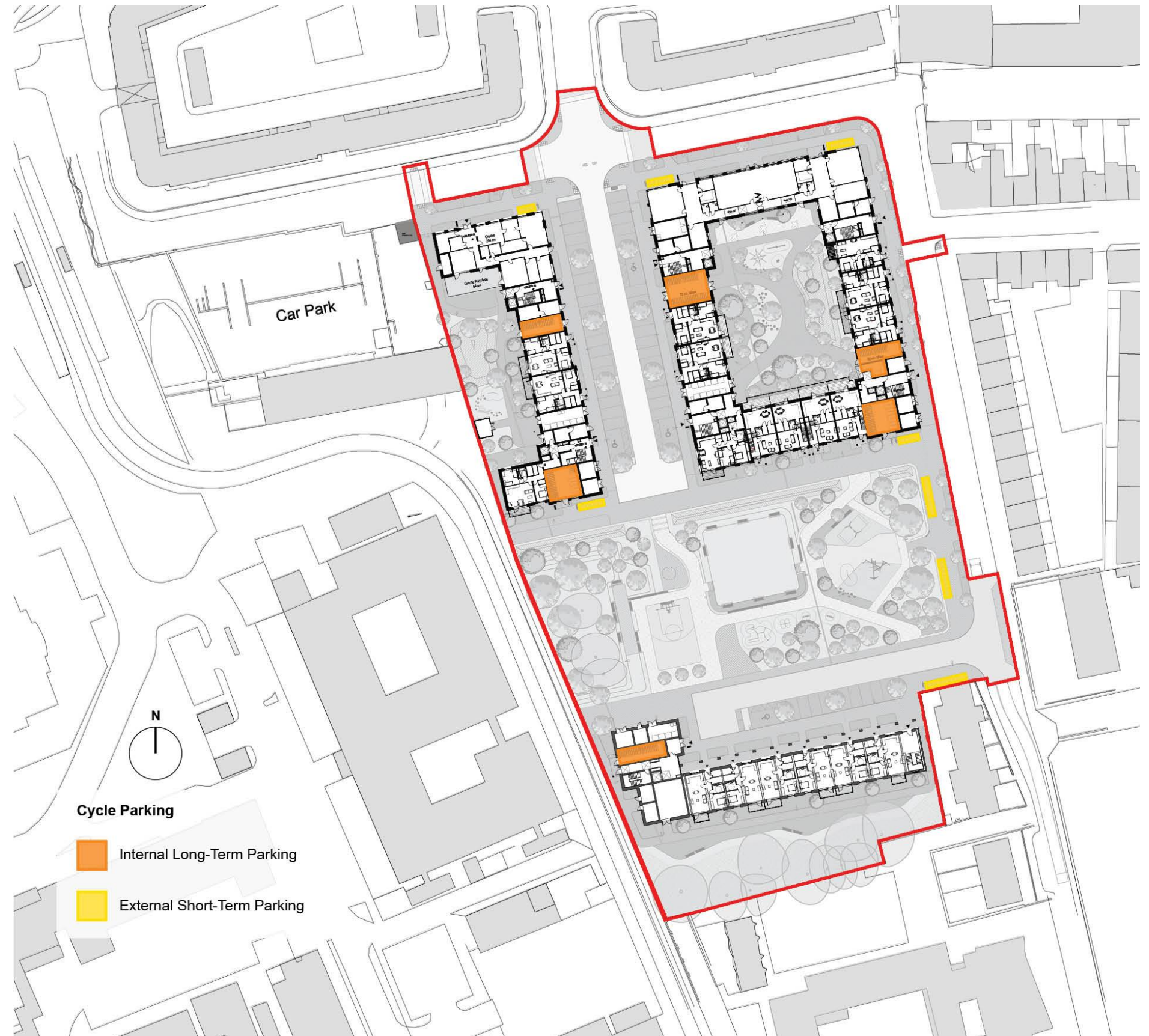


Figure 106: proposed cycle parking.

9. COMMUNITY CULTURAL & ARTS FACILITIES

9.1 Requirements

“CU025 SDRAs and large-Scale Developments

All new regeneration areas (SDRAs) and large-scale developments above 10,000 sq. m. in total area must provide at a minimum for 5% community, arts and culture spaces including exhibition, performance, and artist workspaces predominantly internal floorspace as part of their development at the design stage.....The balance of space between cultural and community use can be decided at application stage, from an evidence base/audit of the area. Such spaces must be designed to meet the identified need.*

The development is greater than 10,000 sq. m and in an SDRa therefore the provisions of CU025 have been applied.

9.2 Proposal

9.2.1 Basin View

The gross internal residential area of the proposed development is 12,363m², which results in an area of 618m² (5%) provision required at the site to comply with CU025. The ground floor of Block B facing Basin Street Lower includes a 516 m² facility for Community, Arts, and Cultural use with a 130m² south facing landscaped terrace located in the central courtyard. This total area of 646m² equates to a 5.2% provision.

The corner of Basin Street Lower and Brandon Terrace was chosen as the most appropriate location to give the facility prominence in development and provides ease of access for the wider community.

The facility is visually differentiated from the residential accommodation above with a change to light grey/white stack bonded brick cladding between generous floor to ceiling glazing. Projecting canopies signify the entrances.

The design is flexible in nature to cater for a range of cultural/arts and community activities. An indicative layout has been illustrated on the drawings with multifunctional spaces to support a variety of future uses. These primary spaces are supported by WC's, stores, and kitchenettes. The final details of the internal layouts will be discussed and agreed with Dublin City Council and the detailed design and tender stage of the project.

The facility will be managed by PPP Co. and will be open for both residents and the local community. A booking system will be developed to facilitate operational activities and meeting space requirements as the need arises.

9.2.2 Forbes Lane

This application also includes a provision to support a nearby concurrent Part 8 application at Forbes Lane/ Marrowbone Lane, which is also being delivered under the NDFA's Social Housing Bundle 4. As outlined in CU025, it is permissible to relocate a portion, to a site immediately adjacent to the area. Therefore, it is considered appropriate that a portion of the Forbes Lane depot site was reallocated to the subject site at Basin View. The additional space required at the Basin View site is 180 m² (2.5% of Forbes Lane depot Part 8 application).

In addition to the community, arts and cultural provision described in section 9.2.1 above this application also includes a 468m² amphitheatre located in the centre of Oisín Kelly Park. This external space is strategically linked to the built facility, creating a synergy of spaces in turn enhancing the cultural vibrancy of the public realm within the development. A central depressed flat grassed area, surrounded on three sides with timber engraved bench seating built into the sloped sides, creates a multi-functional space capable of supporting everything from community classes to musical performances. The reallocation of a portion of the community, arts and cultural space from the Forbes Lane Depot site enables the delivery a greater quantum of space at this site to derive better outcomes for the usage of the site and provides a high-quality space for residents and the wider community.

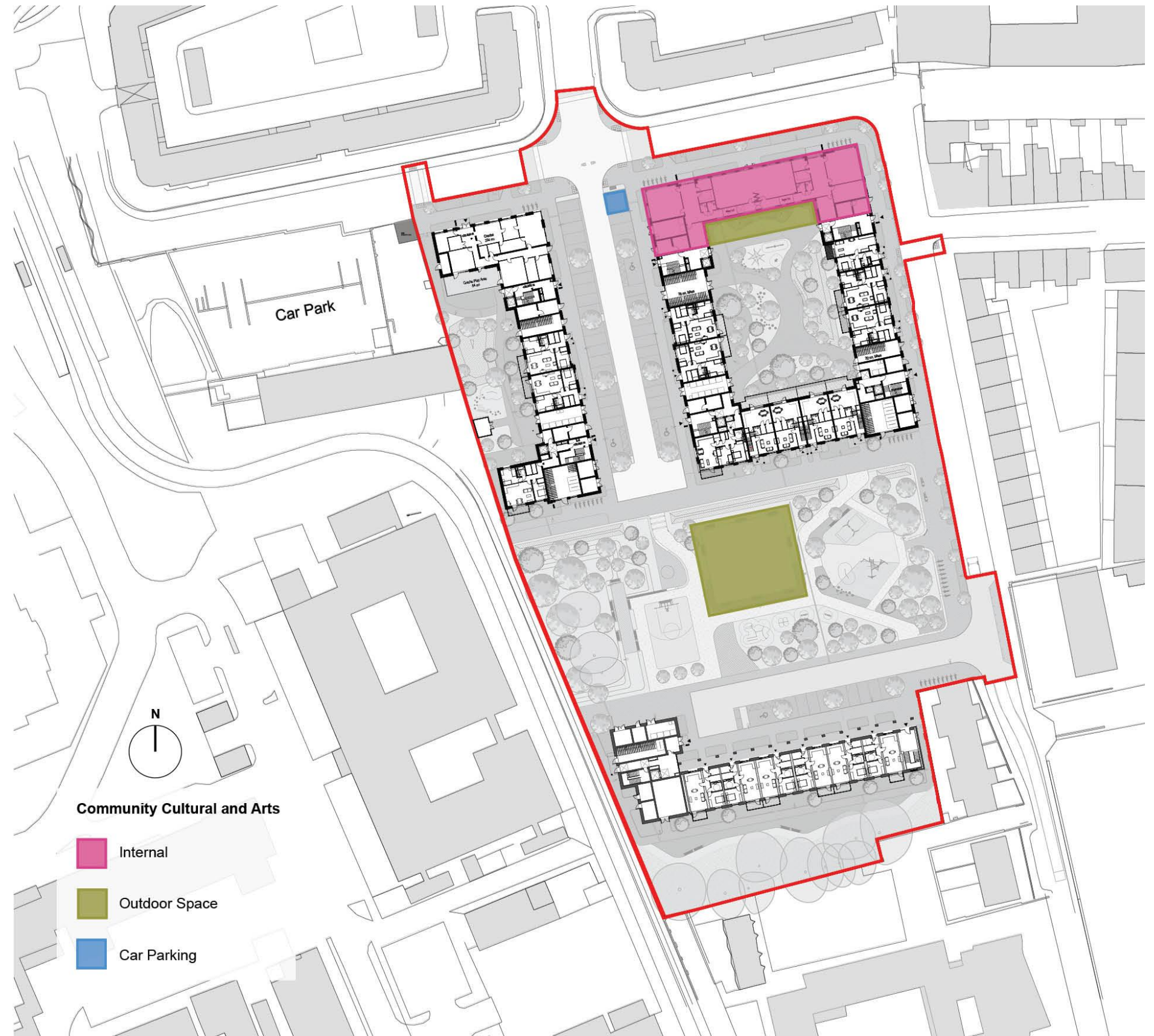


Figure 107: proposed community, cultural and arts provision.

10. Childcare

10.1 Requirements

'Guidelines for Planning Authorities on Childcare Facilities (2001)' recommends that a childcare facility of 20 spaces should be provided for every 75 proposed dwellings. As the development is above 75 'dwellings' (one-bedroom units are excluded for the purposes of calculation), a childcare facility has been included within the application proposal.

An assessment of the existing childcare facilities in the vicinity was carried out by MacCabe Durney Barnes and is included in the Social Infrastructure Audit accompanying this application.

10.2 Proposal

A 294m² childcare facility capable of accommodating over 40 children and 10 staff is proposed for the ground floor of Block A fronting onto Ewington Lane. A secure south facing play space is located to the rear in the communal courtyard.

This location benefits from ease of access for the residents and wider community with proximity to the St James's Luas stop, bus routes on James's Street, and the parallel parking spaces on Ewington Lane to facilitate drop-off and collection.

The areas in the indicative layout illustrated below have been developed in accordance with 'Appendix 1 General Standards' of 'Guidelines for Planning Authorities on Childcare Facilities (2001)



Legend

- 1. 0-1 year olds
- 2. Sleep room
- 3. 1-2 year olds.
- 4. Nappy changing
- 5. 2-3 year olds.
- 6. 3-6 year olds
- 7. Office
- 8. Store/ WC's
- 9. Staff rooms
- 10. External play area

Figure 108: indicative layout of proposed childcare facility.

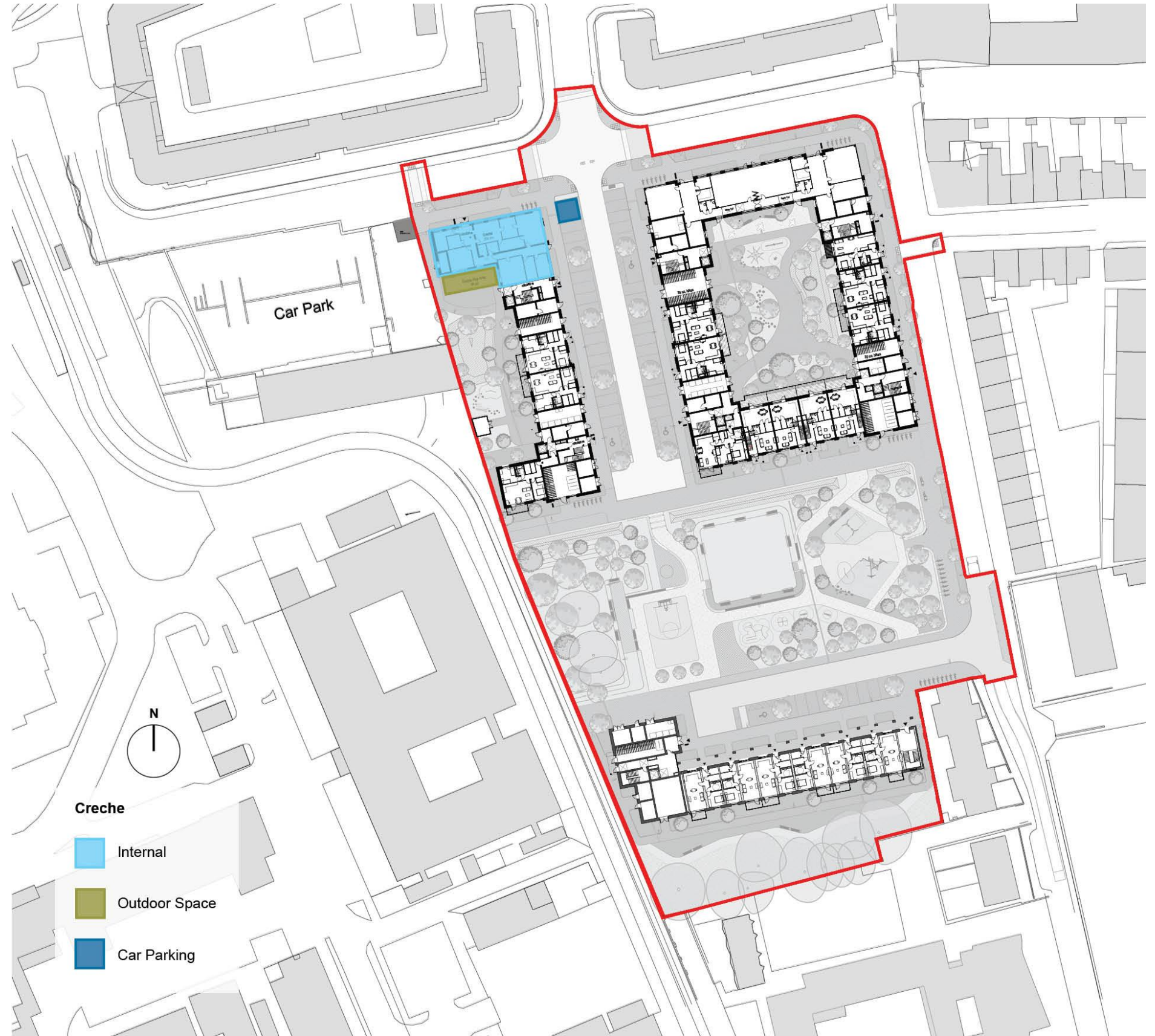


Figure 109: location of proposed childcare facility.

11. URBAN DESIGN RATIONALE/ DESIGN CRITERIA

The design rationale outlined below identifies the key issues considered during the design process for the proposed mixed-use scheme on the site, in compliance with key indicators of quality urban design and placemaking set out in Section 4.4 of Sustainable Residential Development and Compact Settlements Guidelines for Planning Authorities 2024.

11.1 Sustainable and Efficient Movement

11.1.1 Permeable and legible network of streets and spaces within the site

Will the plan or development proposal establish a highly permeable and legible network of streets and spaces within the site that optimises movement for sustainable modes of transport (walking, cycling and public transport)?

The application site has excellent opportunities for permeability being bound by the Luas light rail line to the west, Ewington Lane/ Basin Street/ Lower to the north and Brandon Terrace to the east.

The existing site is of poor urban form, the buildings having little or no relationship with their context, no hierarchy to the external spaces and little connection between them.

The proposed development has a clear delineation of streets and spaces and includes internal road layouts defined by new and retained buildings. Two vehicular access points are proposed from Brandon Terrace and Basin Street Lower respectively, but there are no through roads.

Clearly defined internal and perimeter public routes comply with the guiding principles of SDRA 15. East west routes to the north and south of Oisín Kelly Park are provided which will enable future permeability between the site and St James's Hospital. A landscaped pedestrian route is proposed to the public roads along the site perimeter. These proposals are complemented by the pedestrian routes between Blocks A&B, through Oisín Kelly Park and the forecourt to Block C, forming a legible permeable whole. Walking and cycling through the site is prioritised.

The site also avails of good public transport connectivity with Dublin Bus, Dublin Bike and the Luas stops located at St James's Hospital and Fatima within walking distance from the site supporting sustainable modes of transport.

11.1.2 Connections with and between established communities, services, and other uses

Have opportunities to improve connections with and between established communities been identified and responded to with particular regard to strategic connections between homes, shops, employment opportunities, public transport, local services and amenities?

The proposed development site is located within an established urban neighbourhood of the Liberties. At present, the site is occupied by existing tenants and as part of the overall project, the intention is that these residents will be decanted, relocated, and then brought back to live in the new and refurbished buildings. The proposal has sought to deliver a high-quality residential development while also enhancing the community and amenity provision at the site. The childcare, community cultural and arts facilities, and the relocation and renewal of Oisín Kelly Park will serve a range of uses and activities for members of the public as well as the residents of the scheme.

The site is located within walking and cycling distance to Thomas Street, James Street, Cork Street and Meath Street. A range of services and amenities are accessible to residents at these locations. In addition, the site is located close to the city centre with excellent public transport connections to a greater range of services and amenities to cater to the needs of residents. The Social Infrastructure Audit prepared by MacCabe Durney Barnes accompanies this application highlights the number of community facilities proximate to the site that can cater for a wide array of services and activities.

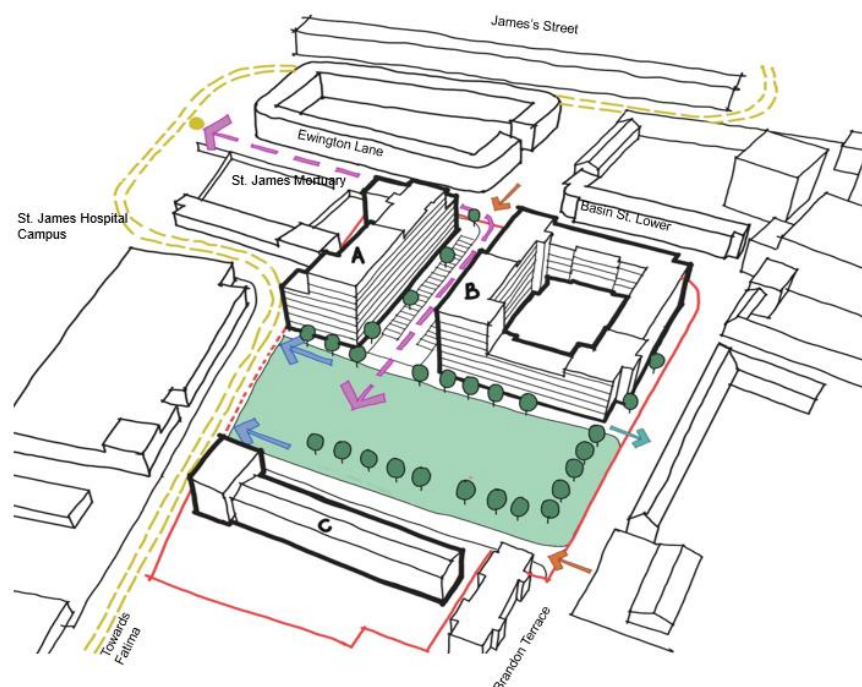


Figure 110: Site permeability concept sketch.

11.1.3 Streets designed in accordance with DMURS.

Are streets designed (including the retrofitting of existing streets adjacent to or on-route to the site, where appropriate) in accordance with DMURS to calm traffic and enable the safe and comfortable movement of vulnerable users?

In line with National Policy, the development objectives for the proposed site are to provide for higher-density infill development, in an urban location with good transport links. This helps to fulfil one of the primary objectives of DMURS, which is to encourage more sustainable travel, with pedestrians at the top of the user hierarchy, then cyclists, public transport and finally, private vehicles.

The internal layout of the scheme has been designed to prioritise pedestrian and cyclist movement through the site, with vehicular movement confined to two locations at the site perimeter. There are no internal vehicular through roads proposed. The internal pedestrian and vehicular movement across the site has been designed in accordance with DMURS standards. The two new proposed internal roads are modest in length, and a combination of perpendicular parking and minimal carriageway widths are utilised to control traffic speed. Primary access to all apartments is directly off the footpath, either to communal stairwells in each of the three blocks, or to the front curtilage of those apartments that feature own door access. Proposed new streets and pavements within the scheme have been designed to be accessible for all users and abilities.

Full details for compliance with DMURS in the design of the layout of the internal road network are contained in the engineering reports included in this application.

11.1.4 Quantum of Parking minimised.

Has the quantum of parking been minimised (in accordance with SPPR4 where relevant) and designed and located in a way that seeks to reduce the demand for private car use, promote sustainable modes of transport and ensure that the public realm is not dominated by parked vehicles?

The site is in Development Plan Parking Zone 1 due to its location within the canal cordon. Based on the objective to deliver general housing at the site the maximum car parking standards is 0.5 per dwelling, 1 per 100 sqm GFA

for the creche and 1 per 350m² for a Community Centre. For the proposed development, with an analysis of the particular need of the existing residents and on account of the close proximity to public transport, a ratio of 0.33 is proposed. Having regard to the location and the urban infill nature of the site, this is considered an appropriate car parking provision that delivers on key policy objectives of the development plan including consolidation of the built environment, compact growth and the 15-minute city.

Surface carparking is proposed along the new internal road network to serve each block with accessible spaces as required by Technical Guidance Document Part M. In line with DMURS, perpendicular parking is limited to a maximum of six spaces with landscaping and planting proposed between each series of spaces to minimise the visual impact.

Pedestrian and cycle access to all residences is provided by direct footpath access to buildings and the communal open spaces, independent of the car parking area. Bicycle stores are in the form of secure indoor rooms within the ground floor of the main building envelopes with good lighting and secure access, directly from the street. Visitor bicycle parking in the public realm is well overlooked from apartments above.

Further details are presented in the Traffic and Mobility Management Plan that accompanies this application.

11.2 Mix of Land Uses (Vibrant Centres and Communities)

11.2.1 Mix and intensity of land uses appropriate to the site.

Is the mix and intensity of land uses appropriate to the site and its location and have land uses been distributed in a complementary manner that optimises access to public transport, amenities and local services via walking or cycling?

The primary brief for the site is derived from the DCCDP, and the SDRA 15. This expressly identified that the site is to be redeveloped. Furthermore, the Development Plan zoning maps further define the area of the site to be used for Sustainable Residential Neighbourhoods (Z1) and that to be used for Amenity/ Open Space (Z9), following the zoning variation as adopted by Dublin City in 2023. The Development Plan also indicates that the density of a SDRA should range from 100-250 uph. Given the location of the site, within a SDRA the 5% provision for community, arts and culture use is applicable to the site.

The subject proposal is therefore deemed appropriate, as it meets the requirements of the SDRA.

11.2.2 Diverse and varied range of housing types:

Have a diverse and varied range of housing types been provided to meet local and projected needs (having regard to the Housing Need Demand Assessment), supplemented by an innovative range of housing typologies that support greater housing affordability and choice?

The proposed development is to provide general needs housing. The area is dominated by private housing with over 72% either rented or owned according to the 2022 census of population. Just 19% of the housing stock consist of housing rented either from the local authority or from a voluntary body. With the provision of 171 units, the share of social housing in the overall stock in the area would rise from c.19% to c.20%. The resultant mix of housing types is based on the housing waiting list of the area and the proposed 1,2,3 bed apartments and 4 bed duplexes provides for those needs.

Furthermore, in compliance with the Development Plan, in excess of 25% of the apartments have been designed in accordance with Universal Design Principles.

11.2.3 Support the regeneration and revitalisation of an existing centre or neighbourhood.

Will the plan or development proposal supplement and/or support the regeneration and revitalisation of an existing centre or neighbourhood,

including the adaption and re-use of the existing building stock in order to reduce vacancy and dereliction (where applicable) and promote town centre living (where applicable)?

The subject site has been earmarked for regeneration under SDRA 15. The redevelopment of Basin Street Flats will renew the site and the wider area. The proposed development endeavours to revitalise a site occupied by an aging flat complex with a poor urban form and strives to provide quality housing for prospective residents. The housing as developed will provide homes for families and individuals who have a housing need and have expressed an interest to live in the community.

In addition to the proposed housing, the part 8 application includes a significant contribution to the established community facilities network in the area with the provision of a community, arts and cultural space. Whilst the final use of this space is to be determined by Dublin City Council, it is intended that its purpose will reflect the needs of the wider community. In place of the existing dilapidated Oisín Kelly Park, the proposal includes a new park forming the public open space at the centre of the site which includes a playground, amphitheatre and half basketball court. This high-quality space will benefit the wider community. The delivery of a creche at the site will positively contribute to the childcare services on offer in Dublin 8 and assist in serving the demand generated from the proposed development.

11.2.4 *Enhancement of the public realm*

Is the regeneration and revitalisation of an existing centre or neighbourhood supported by the enhancement of the public realm so as to create a more liveable environment, attract investment and encourage a greater number of visitors (where applicable)?

The main public realm contribution will be the provision of the new Oisín Kelly Park as the central public open space for the benefit of the wider community. The existing Oisín Kelly Park is underutilised, subject of anti-social behaviour and in poor condition. The application site will also deliver improvement to the streetscape along the north and eastern roads in the form of new tree planting, access arrangements and improved pavements. The development also allows for the provision of greater permeability of the site as described in Section 11.1.1 above.



Figure 111: concept sketch of view down Brandon Terrace towards Oisín Kelly Park & Block B

11.3 **Green and Blue Infrastructure (Open Space, Landscape and Heritage)**

11.3.1 *Positively responded to natural features & landscape character*

Has the plan or development proposal positively responded to natural features and landscape character, with particular regard to biodiversity, vistas and landmarks and the setting of protected structures, conservation areas and historic landscapes?

The Ecological Appraisal prepared by NM Ecology states that all habitats within the site are of negligible ecological importance. A large proportion of the site consists of buildings and artificial surfaces. There are internal roads and parking spaces, an asphalt soccer pitch, a basketball court and several playgrounds. None of these areas support any vegetation. There are several treelines, almost all of which are composed of non-native species, small patches of scrub, amenity grassland and some localised patches of dry meadow.

In total, 36 no. existing trees were recorded with 9 B Category trees, 21 C Category trees and 6 U category trees. It is proposed to retain 18 no. Ash and Sycamore forming the southern boundary and the western boundary of the relocated Oisín Kelly Park. These retained trees will be supplemented by significant new tree and shrub planting to both the public and semi-public areas.

A strategy for biodiversity improvement is proposed, proposals for which have been developed by the wider design team, with input from the consultant arborist, ecologist, and landscape architect. Measures include native trees and plants, pollinator friendly grasslands, and biodiversity enhancement for fauna, bats, and mammals. The subject development proposes a biodiversity gain. Please refer to the Landscape Design Report prepared by Mitchell + Associates for further information.

The site is located within a zone of archaeological interest. As part of the site investigation work at the site, archaeological monitoring of the GIS testing was undertaken, and a report has been prepared by John Purcell Archaeologists and accompanies this application. The site does not contain any structure either listed on the Record of Protected Structure or NIAH. In addition, no national monument has been identified at the site.

11.3.2 *A complementary and interconnected range of open spaces, corridors and planted/ landscaped areas.*

Have a complementary and interconnected range of open spaces, corridors and planted/ landscaped areas been provided, that create and conserve ecological links and promotes active travel and healthier lifestyles?

A key consideration of the proposed scheme was to improve the quality of public open space, urban form, and permeability at the site. The Dublin City Development Plan was varied to facilitate the rezoning of lands at the site. The Z9 lands were initially located at the north of the site, and following a variation process to the Development Plan, two zoning variations were adopted to the lands. The rezoning of the lands will facilitate the relocation of the public open space at the site to the centre of the site.

The relocated Oisín Kelly Park is framed to the north and south by Blocks A&B and Block C respectively. This central open space is connected directly to Brandon Terrace and back to Basin Street Lower through the landscaped home zone between Blocks A&B.

Oisín Kelly Park incorporates play spaces for different ages and a sports area. Owing to the site's rich history as a reservoir that once supplied water to the city, a sunken amphitheatre has been incorporated as a multi-functional open-air space within the park. These proposals will support healthy activities for people of all ages.

Visitor cycle parking is provided for all apartment buildings and public cycle parking is provided along the eastern boundary of Oisín Kelly Park

The proposed communal and private open spaces are defined by the placement of the built forms on the site. The communal open spaces are located in the new courtyards of Blocks A & B, and to the rear of Block C.

Passive and active recreational areas are incorporated in the landscape proposals for these areas.

The landscaping strategy at the site will complement and enhance the existing green infrastructure network of the Liberties area. The proposed high quality open spaces and multi-functional space is visually attractive and provides multiple recreational opportunities, while also being a source of sense of place and identity for all. The proposed development will promote walking and cycling and positively contribute to meeting the vision and objectives of the Liberties Greening Strategy.

11.3.3 *Public open spaces universally accessible and designed to cater for a range of active and passive recreational uses.*

Are public open spaces universally accessible and designed to cater for a range of active and passive recreational uses (taking account of the function of other spaces within the network)?

The landscape structure of the proposed residential development provides a varied, accessible, and permeable open space network for community use, that as it matures will become a significant resource.

Oisín Kelly Park includes a variety of spaces that will cater for a range of active play and sports as well as group play; social interaction, imaginative play, climbing and sliding. Seating alongside the half basketball court and playground allows passive supervision from parents, guardians, and residents.

The amphitheatre has been designed to form a central public open space, not only for the proposed development but also for the surrounding area of Basin Street to be used for a variety of events. The amphitheatre can serve a multitude of key functions for Liberties including public performances, speakers, and gathering places for the community, making it a key component in revitalising and rejuvenating the site.

11.3.4 *Integrated nature-based solutions for the management of urban drainage*

Does the plan or development proposal include integrated nature-based solutions for the management of urban drainage to promote biodiversity, urban greening, improved water quality and flood mitigation?

The proposed development will be designed in accordance with the principles of Sustainable Drainage Systems (SuDS) as embodied in the recommendations of the Greater Dublin Strategic Drainage Study (GDSDS) and will significantly reduce run-off rates and improve storm water quality discharging to the public storm water system. A wide range of SuDS measures are proposed across the site to maximise interception and treatment, which are detailed in the Engineering Report prepared by Malone O'Regan. These measures include:

- Bioretention swales in areas beside roads and green spaces
- Tree pits in suitable areas beside the development roads and car parking
- Green and blue roofs for flat roofs above the apartment buildings.
- Rain gardens, particularly in green spaces beside roads.
- Permeable paving in home zones and car parking spaces•
- Detention basins in the communal open spaces available.

11.4 **Responsive Built Form**

11.4.1 *Coherent and legible urban structure in terms of block layouts and building heights.*

Does the layout, orientation and scale of development support the formation of a coherent and legible urban structure in terms of block layouts and building heights with particular regard to the location of gateways and landmarks, the hierarchy of streets and spaces and access to daylight and sunlight?

Refer to Section 5 of this report.



Figure 112: early concept elevation study.

11.4.2 Buildings address streets and spaces

Do buildings address streets and spaces in a manner that will ensure they clearly define public and private spaces, generate activity, maximise passive surveillance and provide an attractive and animated interface?

The proposed building forms to the new and existing streets follows best practice urban design principles. At ground floor level, the public side of the buildings are presented to the street, with entrance doors to each stair core, and own door approaches with private front curtilages to ground floor apartments where relevant. Any ground floor windows are set back from the street and include either generous privacy strips or private entrance curtilages.

The site layout and new internal road network to serve Blocks A, B and C allows for good passive surveillance with all streets, open spaces and play areas overlooked by multiple apartment windows and balconies, providing strong for passive surveillance.

The central public open space addresses Brandon Terrace and the apartment buildings making it accessible to both the new residents, and the wider community. The location of the Creche and Community/Cultural/Art facilities also address both the existing and proposed public realm and the connectivity routes through and around the site.

The rear of Blocks A, B and C overlook their respective communal open spaces. The proposed layout and building heights also ensure that overshadowing is minimised, with open spaces bright and attractive during the day, maximising the potential for them to be well used.

Public, communal, and private realm are all very clearly defined. This has largely been achieved by using the buildings themselves to clearly enclose the boundaries between communal and public. Entry to the communal open space is secure, with access for residents only. Private open space is accessible only from with the apartments themselves.

11.4.3 Layout, scale and design features of new development respond to prevailing development patterns (where relevant)

Does the layout, scale and design features of new development respond to prevailing development patterns (where relevant), integrate well within its context and provide appropriate transitions with adjacent buildings and established communities so as to safeguard their amenities to a reasonable extent?

Much consideration has been given to the layout and design of the scheme with a particular focus on providing a high-quality residential development, creating a sense of place for its residents whilst integrating into the existing built environment.

The Dublin 8 area has experienced significant growth in recent years with numerous large scale housing development granted in the Dublin 8 area in recent years. The wider area of the site is undergoing significant regeneration and densification of underutilised sites that should see a corresponding increase in local population that will support local services and facilities.

The proposed layout and building heights are particularly derived by the SDRA guiding principles and the zoning at the site. The site has main frontage to Ewington Lane/Basin Street Lower and Brandon Terrace. This application has endeavoured to integrate and define the urban structure by proposing two perimeter blocks enclosing communal courtyards, addressing the existing streets, and the new central public open space of Oisín Kelly Park. The proposed building heights respond to their immediate residential context with 4/5 storeys proposed along Ewington Lane, Basin Street Lower and Brandon Terrace. The 6/8 storeys in the centre of the site is considered a modest proposal in the context of 12/14 storeys in Grand Canal Harbour.

A full analysis of daylight and sunlight impact has also been undertaken to determine the impact of the subject development on the surrounding buildings. There are no significant negative impacts, and full details are included elsewhere as part of this planning application.

11.4.4 Coherent architectural and urban design strategy

Has a coherent architectural and urban design strategy been presented that will ensure the development is sustainable, distinctive, complements the urban structure and promotes a strong sense of identity?

A coherent architectural design strategy has been delivered with cognisance to the sites surrounding characteristics, which will make a positive contribution to the regeneration and revitalisation of the Liberties.

Architecturally, the development will present an appropriate and distinctive urban form to Basin Street Lower and Brandon Terrace. It will offer a significant improvement to the urban form, street enclosure, and passive surveillance across the site, whilst maintaining the daylight and sunlight amenity of existing properties.

A common design language and materiality is threaded through each of the buildings in the proposed development, but separately each building has sufficient variety in height, finishes and articulation.

The central location of Oisín Kelly Park, framed by the buildings, Luas line and Brandon Terrace will assist in forming a sense of place, ensure local distinctiveness, and aid orientation.



Figure 113: view down Brandon Terrace towards Oisín Kelly Park

Appendix.A. ACCESSIBILITY

A.1 General

Dublin City Council Development Plan (2022-2028) advises that a minimum of 50% of apartments are to exceed minimum area standards by 10%, and that in addition, 50% of apartments that are in excess of minimum size requirements are to be designed to be UD compliant. The UD standards noted are the requirements of the 'Universal Design Guidelines for Homes in Ireland' developed by the Centre for Excellence in Universal Design (National Disability Authority).

Based on the above requirement, the minimum provision of UD apartments would be 25%. The proposed development has 39% of apartments designed to UD standards. For all points of approach to individual apartments, universal access has been addressed as follows:

- General approach to building core, apartment entrance or ancillary facilities are in compliance with TGD Part M, with access designed as a gently sloping approach where required. This eliminates any requirement for a stepped approach.
- Accessible car parking spaces are located near main entrance cores.
- All stair cores have been designed as TGD Part M Ambulant Disabled.
- All lifts are TGD Part M compliant.
- All internal corridors have been designed at 1.8m width, allowing 2 persons to pass easily, and for full TGD part M compliant turning circles.

The Universal Design units consist of:

- Apartment Type 1B2P-2
- Apartment Type 1B2P-11
- Apartment Type 2B4P-2

The criteria addressing the design of the internal unit layout are summarised as shown below:

Kitchen/ Dining/ Living Room

- Large and flexible room with ample unobstructed space to access all areas for everyone with ease of movement through the kitchen.
- Minimum 800mm wide clear route between furniture and in front of windows and routes between doors
- 1200mm clear space on three consecutive sides of a table
- Kitchen is not a thoroughfare. Cooker / hob and sink are in the same run of worktop.
- The kitchen space located next to the dining area to ease access for carrying food and crockery.
- Large and accessible bathroom door opens outwards, with level access shower.
- Bathroom adjacent to the main bedroom with flexibility to provide direct access from the bedroom.
- Clear access space of 800mm on both sides and at the end of the double bed.
- Provide a clear space for a turning circle of 1500mm.
- Doors open into rooms (such as living rooms, bedrooms, and kitchens) with hinge-side of the door is adjacent to a return wall and approx. 300mm clear space on the leading edge of doors.
- Entrance door with a clear width of circa 1000mm; with 1200 mm x 1200 mm clear landing.
- Level access to the front and rear doors.

The potential use of power operated units on accessible entrance doors or gates for TGD Part M compliance will be determined at a later detailed design stage.

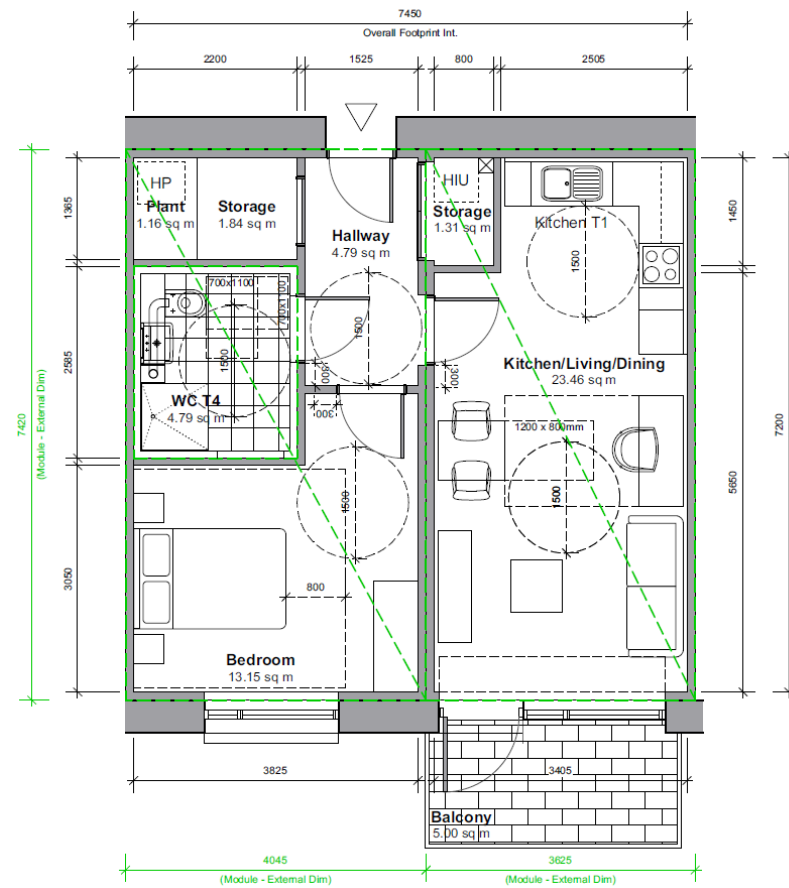


Figure 114: typical 1 bed UD unit

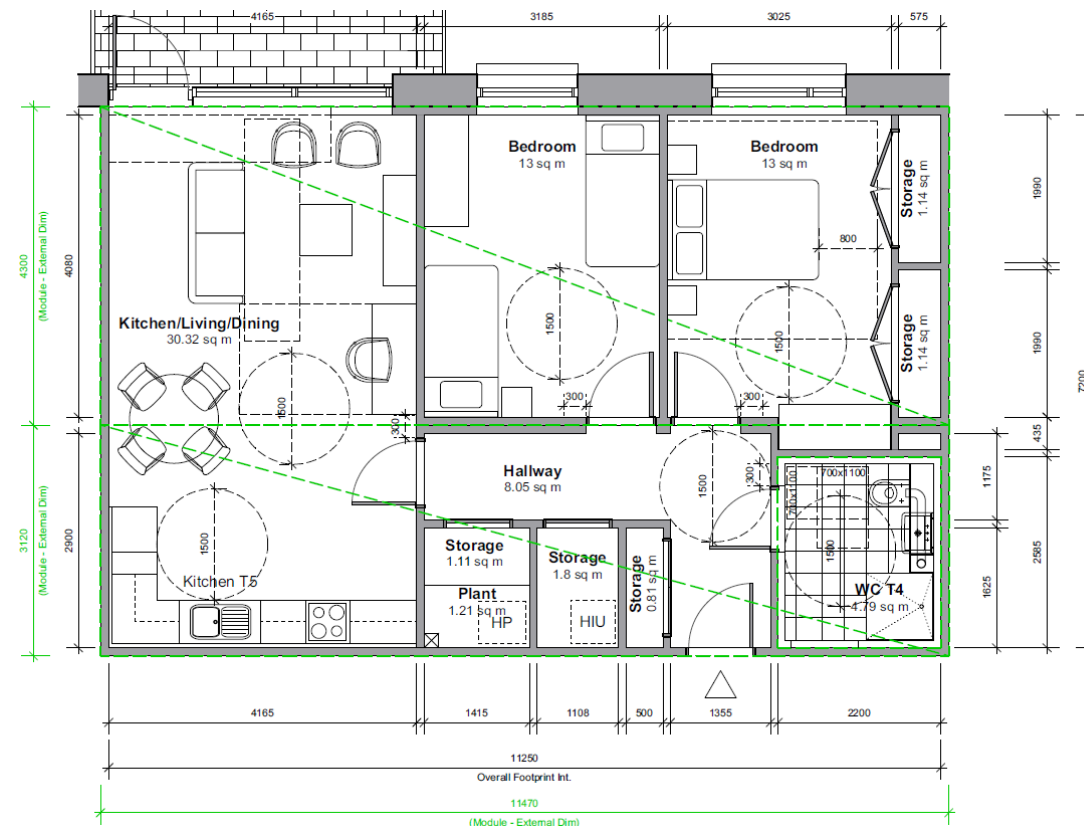


Figure 115: typical 2 bed UD unit

Appendix.B. Community Safety Strategy

B.1 General

This report addresses the requirements of the Dublin City Development Plan, 2022-2028, Chapter 15.4.5 - Safe and Secure Design. This requirement states:

"All residential developments shall refer to Design for Safety and Security' guidance contained in the DEHLG 'Quality Housing for Sustainable Communities – Best Practice Guidelines for Delivering Homes Sustaining Communities' (2007)."

New developments and refurbishments should be designed to promote safety and security and avoid anti-social behaviour by:

- Maximising passive surveillance of streets, open spaces, play areas and surface parking.
- Avoiding the creation of blank facades, dark or secluded areas or enclosed public areas.
- Eliminating leftover pockets of land with no clear purpose.
- Providing adequate lighting.
- Providing a clear distinction between private and communal or public open space, including robust boundary treatment.
- Enabling residents to watch over the entrance to their home; recessed entrances should be avoided, and front doors should also be overlooked from other houses or from well-trafficked public areas.
- Locating back gardens next to other back gardens or secure private areas rather than onto roadways or other public areas.
- Ensuring that the layout and design of roads within residential areas encourages appropriate traffic volumes and speeds.
- Providing clear and direct routes through the area for pedestrians and cyclists with safe edge treatment, maintaining clear sight lines at eye level and clear visibility of the route ahead.
- Using materials in public areas which are sufficiently robust to discourage vandalism.
- Avoiding the planting of fast-growing shrubs and trees where they would obscure lighting or pedestrian routes; shrubs should be set back from the edge of paths.
- Consulting with An Garda Síochána crime prevention design advisor where appropriate; Dublin City Council will also have regard to the Guidelines on Joint Policing Committees as established under the Garda Síochána Act 2005 as amended (2014), in order to ensure safe and secure communities.

'On housing developments over 100 units, the Council will require the submission of a Community Safety Strategy (see policy QHSNO12) which would set out the design features incorporated to address the above measures to ensure a high level of safety and security is maintained including, overlooking, passive surveillance, street lighting and clear accessible routes.'

For the following sections, we have used the bullet points above as key headings.



B.1.1. Maximising passive surveillance of streets, open spaces, play areas and surface parking.

All new internal streets, open spaces and play areas are overlooked by multiple apartment windows and balconies, providing strong for passive surveillance. The principal spaces are addressed separately as follows:

Carparking and Internal Streets:

Carparking is positioned along the public northern perimeter of Blocks A&B and within the home zone between the buildings overlooked by multiple windows and balconies. The balance of the parking in the southern side of Oisín Kelly park overlooked by Block C.

At ground level residential units and the community/cultural/ arts spaces directly engage with the public paths and internal streets. In addition to the primary elevations windows and balconies have been provided in the gables of all three buildings to ensure adequate passive supervision.

Public open space and play areas:

The central public open space of Oisín Kelly Park, including the children's play area, sports area and amphitheatre, is in the centre of the site framed by Blocks A and B to the north and Block C to the south, ensuring that it is well overlooked. The proposed location also ensures that overshadowing is minimised, with the taller 8 storey structures to the north, and the retained 5 storey building to the south separated by roads and parking. Direct access to east and west sunlight ensures it is bright and attractive during the day, maximising the potential for it to be well used.

Communal open space and play areas:

The communal open spaces are to the rear of each block with passive surveillance provided from the residential accommodation addressing it at all floor levels.

B.1.2. Avoiding the creation of blank facades, dark or secluded areas or enclosed public areas.

The buildings are outward looking blocks with windows on all elevations. This ensures that all areas, both public and secure communal are overlooked. Railings that secure the communal open spaces are aligned with the building lines to ensure that recessed or secluded areas are avoided.

The building forms are flush from plinth to roof level, with minimal projections or recesses that could create a dark space for someone to hide. The only projections of any note the entrance canopies to the communal staircases and the community/cultural/arts facilities, all of which are areas that will be well lit, and highly trafficked. More modest canopies are also featured on ground floor own door apartments.

B.1.3. Eliminating leftover pockets of land with no clear purpose.

The building forms and layout have been developed to utilise the full extent of the site, the residual areas outside of the building footprints being public open space, communal open space or parking. This ensures that every aspect of the development has a defined purpose, and there are no leftover, or underdeveloped pockets of land.

B.1.4. Providing adequate lighting.

The detailed electrical design for this scheme will incorporate adequate lighting for all areas of the development, including to private balconies and terraces, the public open space, carparking, and the public realm generally. A separate submission on public lighting accompanies this planning application. Notwithstanding the detail included otherwise, lighting will be required to comply with both DCCs public lighting standards, and with Building Regulations TGD Part M for all approaches to the building.

B.1.5. Providing a clear distinction between private and communal or public open space, including robust boundary treatment.

Public, communal, and private realm are all very clearly defined within the proposed development. This has largely been achieved by using the buildings themselves to clearly define the boundaries between communal and public. Entry to the communal open space is secure, with access for residents only. Private open space is accessible only from within the apartments themselves. Refer to Section 6 of this report for further details.

B.1.6. Enabling residents to watch over the entrance to their home; recessed entrances should be avoided, and front doors should also be overlooked from other houses or from well-trafficked public areas.

There are no recessed entrances to either the own door apartments or the communal staircores. All entrances are from the public realm, well-lit and overlooked by the adjoining active uses. Each apartment will be connected to the communal entrances with video enabled access control.

B.1.7. Locating back gardens next to other back gardens or secure private areas rather than onto roadways or other public areas.

As this is an urban apartment scheme, there are no back gardens.

B.1.8. Ensuring that the layout and design of roads within residential areas encourages appropriate traffic volumes and speeds.

This is an urban infill scheme, with no through roads and minimal vehicular on-site traffic. The internal street network has been designed in accordance with DMURS. Refer to the engineering documentation accompanying this application for full details.

B.1.9. Providing clear and direct routes through the area for pedestrians and cyclists with safe edge treatment, maintaining clear sight lines at eye level and clear visibility of the route ahead.

A road safety audit of the design has been undertaken to support the safety of cyclists and pedestrians. The recommendations of the audit have been incorporated which include the design of junctions, location of pedestrian crossings, provision of dedicated pedestrian routes through the shared surface areas and consideration on the type and location of tree planting to ensure adequate sight lines are maintained.

B.1.10. Using materials in public areas which are sufficiently robust to discourage vandalism.

As the public realm will be the first point of public contact with the development, the landscaping design addresses this requirement through the careful specification of robust materials including paving, street furniture and landscaping elements. This has been detailed elsewhere as part of this planning submission.

Where the proposed buildings adjoin the public areas, at ground floor level, additional consideration has been given to this interface. Brick is proposed along all elevations as its both robust and easily cleaned. The ground floor non-residential areas will also feature robust curtain walling and infill panelling, that is easily maintained.

B.1.11. Avoiding the planting of fast-growing shrubs and trees where they would obscure lighting or pedestrian routes; shrubs should be set back from the edge of paths.

The development features the retention of mature trees along the site boundaries. Proposed soft landscaping has been selected with a preference for native species, that are robust and low maintenance. The planting strategy will include a combination of mown grass, wildflower meadows, ground cover shrubs, and trees with canopies above eye level.

The public lighting design has been fully co-ordinated with the landscaping to ensure that compliant lux levels have been achieved. Refer to the Services Engineering documentation accompanying this application for further details.

B.1.12. Consulting with An Garda Síochána crime prevention design advisor where appropriate; Dublin City Council will also have regard to the Guidelines on Joint Policing Committees as established under the Garda Síochána Act 2005 as amended (2014), in order to ensure safe and secure communities.

As the design was developing a consultation with was held with An Garda Síochána Crime Prevention Office in September 2023 with recommendations issued in October. The project specification at tender stage will be cognisant of recommendations regarding door and window security systems, access control, and CCTV.

The landscape proposals and tree locations have been coordinated with the public lighting design to ensure compliant lux levels are achieved for public safety.

The general planting strategy throughout the scheme is for tree planting with 2 metre clear stems and a base layer of shrub planting. Eye level between the two planting types is kept clear to maintain sight lines throughout the scheme.

A low railing has been provided along the eastern boundary of Oisín Kelly Park. The new boundary wall and railings to the western boundary and the LUAS line maintains security of the site but provides visual permeability increasing passive supervision of Oisín Kelly Park.



Figure 116: view of Community/Cultural/Arts facility on the corner of Basin Street Lower and Brandon Terrace.

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