



COADY  
ARCHITECTS

**SOCIAL HOUSING BUNDLE 4 – DEVELOPMENT AT CROKE VILLAS**

ARCHITECTURAL DESIGN STATEMENT

*for*

Dublin City Council

24<sup>th</sup> July 2024

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## 1. INTRODUCTION

This design report was prepared by Coady Architects on behalf of the National Development Finance Agency (NDFA) and Dublin City Council, to accompany a Part 8 proposal for development described as follows in the public notices:

The construction of 52 no. residential dwellings at a site c.0.88 ha at Croke Villas, Sackville Avenue, Dublin 3, which will consist of the following:

- Clearance works at the site will comprise the removal of walls and perimeter fencing and an allotment garden at the Croke Villas site bounded by Ballybough Road, Sackville Gardens, Sackville Avenue, Ardilaun Square, Ardilaun Road and GAA National Handball Centre. A wall along the boundary of the site and Irish Rail lands and railway line (to the south) will also be removed and replaced with a new boundary wall. Demolition of the remaining Croke Villas flat block is approved under Planning Authority Reg. Ref. 2946/16.
- Construction of two apartment blocks between 4 to 5 storeys, consisting of a total of 52 no. residential units:
  - Block A consists of 35 no. residential units (1 no. 1 bed and 34 no. 2 bed apartments); and
  - Block B consists of 17 no. residential units (4 no. 1 bed and 13 no. 2 bed apartments) and 152 sqm of internal community, arts and cultural space at ground floor.
- 4 no. car parking spaces and 129 no. cycle spaces.
- Sackville Gardens street will be extended to join with Ardilaun Square to form a new perimeter street to the southern edge of Block A, which will function as a new pedestrian and cycle link and also serve as an emergency vehicle access.
- Removal of undesigned car parking spaces along Sackville Avenue and construction of a new Boulevard on Sackville Avenue from the Ballybough Road junction to Ardilaun Road, which will also facilitate vehicular access.
- Provision of c. 961 sqm public open space, c.500 sqm communal open space, c.367 sqm private open space and 68 sqm of outdoor community, arts and cultural space (55 sqm facing Sackville Avenue and 13 sqm in internal courtyard).
- Boundary treatments, public lighting, site drainage works, road surfacing and footpaths, ESB substation, ESB meter rooms, plant rooms, stores, bin and bicycle storage, landscaping; and
- All ancillary site services and development works above and below ground.

The multi-disciplinary project team for this project is as follows:

- Development Agency: National Development Finance Agency
- Project Manager: Turner Townsend
- Planning Consultants: McCabe Durney Barnes/ HRA Planning
- Architects: Coady Architects
- Civil & Structural: Malone O'Regan Consulting Engineers
- Services Engineers: Semple & McKillop Consulting Engineers
- Landscape Architects: Mitchells & Associates
- Ecology: NM Ecology
- Arborist: Charles Mc Corkell

In support of this Architectural Design Statement, and as per the requirements of Dublin City Council's Development Plan 2022-2028 (DCCDP), the following have been provided:

As an Appendix of this report:

- Accessibility (UD Apartments)

As standalone documents:

- Housing Quality Assessment – Coady Architects
- Building Management/Lifecycle Report – Coady Architects
- Daylight and Sunlight Assessment – Digital Dimensions
- Acoustic Design Statement - Wave Dynamics
- Operational Waste Management Plan – Traynor Environmental



Figure 1: proposed view from Ballybough Road down Sackville Avenue



2. SITE LOCATION

2.1 Site Location

The proposed development is located between Ballybough Road and the Cusack Stand side (east) of Croke Park stadium on Sackville Avenue, c. 1.5km north of Dublin City Centre.

The site is situated to the north to the Royal Canal and adjoining railway line at Ballybough and includes Sackville Avenue to the north and an area of Ardilaun Square to the west. The site is bounded to the south by the railway line and to the southeast by the rear gardens of existing houses at Sackville Gardens and an adjoining laneway. Sackville Gardens is a terrace of two-storey houses dating from the nineteenth century, facing the railway line and canal bank.

The Croke Villas site is centrally located in an established residential community in the north inner city of Dublin with schools, creches, retail, healthcare, amenities, parks, and local facilities in its vicinity.

The site avails of good public transport, with Dublin Bus stops on Ballybough Road. Drumcondra and Connolly Train Stations provide connectivity to Dublin City centre and beyond. It is ideally located to meet the principles of the 15-minute City as envisaged in the Dublin City CDP 2022-2028.



Figure 2: Aerial view of site with application boundary outlined in red.



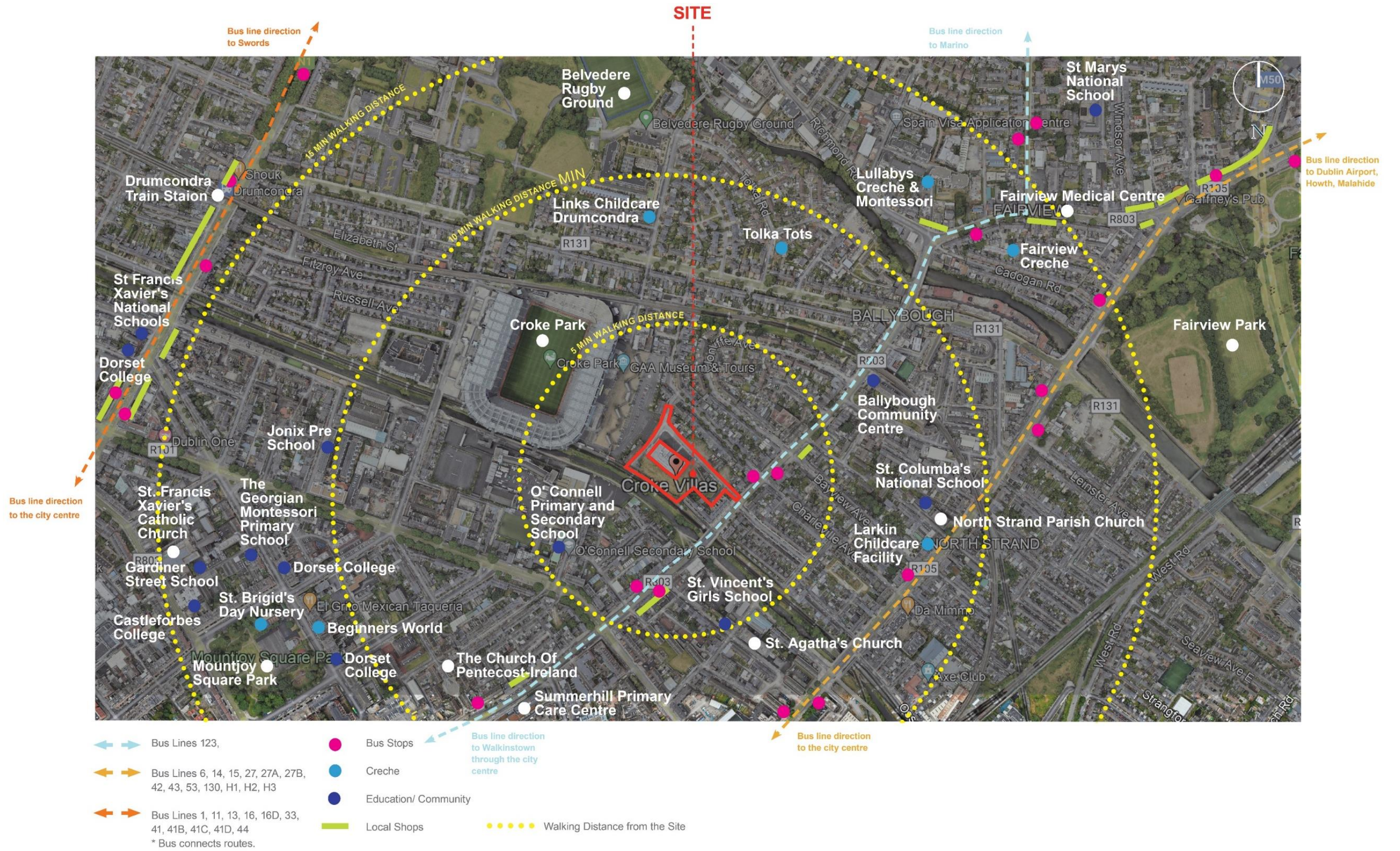


Figure 3: map of Ballybough with wider urban context



**2.2 Site Description**

The application site formerly consisted of four no. five-story residential blocks constructed in the 1960s by Dublin Corporation at Croke Villas. Three blocks fronted onto Sackville Avenue and one onto the canal bank, with a gap, occupied by a hard surfaced playing pitch, between this area and no. 6 Sackville Gardens.

Part of the original estate lands were disposed of to the GAA to develop the Handball Alley. One of the residential buildings currently remains on site, which is vacant with the doors and windows boarded. A palisade fence above a low wall has been erected at the western end of Sackville Gardens to secure the site forming a cul-de-sac off Sackville Avenue.

The development site includes the remaining block of flats, its immediate environs up the rear boundaries of the dwellings to Ballybough Road and Sackville Gardens, and the residual lands to the rear of the handball alley up the boundary to the railway line and Ardilaun Square.

The application site boundary also includes Sackville Avenue, Ardilaun Square and the paved and tarmac apron in front of the handball alley.

The area of the former apartment blocks is brownfield, currently made up of a combination of grass and a levelled rubble/rock fill from the demolition. There is an approximate 2m level difference between the southeast and northwest corner of this area.



Figure 5: existing view from Ballybough bridge towards Croke Park



Figure 7: existing street view along Ardilaun Square towards railway line



Figure 4: existing street view along Ardilaun Square towards Sackville Avenue



Figure 6: existing street view down Sackville Avenue towards Croke Park



Figure 8: existing street within the site to rear of handball alley



**2.3 Brief.**

The application site is part of a wider residential regeneration project that includes the provision of new 2 and 3 storey terraced houses to the north side of Sackville Avenue. The existing Part 8 Planning Permissions for these houses and the development strategy is discussed in Section 3.8.

The residential brief as developed with Dublin City Council based on the housing need assessment for the area is shown in figure 9 below. All units are proposed for social tenants. Affordable units are not proposed for this site. This brief results in a net density of 100uph when Ardilaun Road, Ardilaun Square & GAA lands are excluded from the application boundary.

In addition to the reuse of a derelict site to provide much needed housing in the city, the brief for the project also includes the upgrade of a primary approach route from Ballybough Road along Sackville Avenue to the Cusack Stand of Croke Park. This high-quality urban realm is to serve both as a setting for the new residential development but also allow for the movement and gathering of crowds on match days and other events.

Location	Total	1 bed 2P	2 bed 4P	3 bed 5P	4 bed 7P
Block A	35	1	34	0	0
Block B	17	4	13	0	0
<b>Total</b>	<b>52</b>	<b>5</b>	<b>47</b>	<b>0</b>	<b>0</b>
<b>Mix</b>	<b>100%</b>	<b>9.6%</b>	<b>90.4%</b>	<b>0%</b>	<b>0%</b>

Figure 9: brief mix of residential units.

The proposed development is less than 10,000 sq. m. but as the site is within an SDRA the 5% Community, Arts and Culture requirement (Objective CU025 of the Development Plan), is applicable. The Community, Arts and Cultural spaces are described in detail in Section 8.

As the proposed development is below 75 'dwellings' (one-bedroom units are excluded for the purposes of calculation), a child-care facility has not included within the brief. Details of child-care facilities in the local area can be found in the Social Infrastructure Audit prepared by McCabe Durney Barnes.



Figure 10: existing street view down Sackville Avenue towards Ballybough Road



Figure 11: proposed street view down Sackville Avenue towards Ballybough Road  
(proposed trees shown dotted for clarity)



3. CONTEXT AND SETTING

3.1 Zoning

The site area is zoned Z1 Sustainable Residential Neighbourhoods. The zoning map in the Development Plan 2022-2028 is out of date and illustrates the demolished blocks of flats. The GAA handball alley has now been constructed on the area designated Z9 Amenity / Open Space Lands / Green Network.

3.2 Strategic Development Regeneration Area

The site is located within Strategic Development Regeneration Area SDRA 10 – North East Inner City. The application site is not specifically referenced in Section 13.12 however the SDRA identifies a requirement for access and permeability from Sackville Gardens to Ardilaun Square

The development proposal in this application is in harmony with the aims of SDRA 10:

*'realising the potential of the area, ... and promote quality development on underutilised sites'*

*'make a positive contribution towards placemaking and future physical and social regeneration, whilst simultaneously fostering the growth of established inner city residential neighbourhoods and communities.'*

The development proposal also aligns with the key objectives in SDRA 10 Section 13.12:

- a) To provide a spatial framework for land uses including much-needed housing.
- b) To restore a coherent urban structure where it is poor or fragmented and improving the public realm.
- d) To plan for improved connectivity and public amenity while utilizing existing assets in the area.

The Development Plan indicates that the density of a SDRA should range from 100-250 uph.

The site is located within a regeneration area; therefore the indicative plot ratio is 1.5-3.0 and the indicative site coverage at 50-60%.

There is a public open space requirement of 10% within the site.

The SDRA requirements for a minimum 100uph will result in a significantly denser development than that of adjacent housing. This will necessitate proposed buildings of increased scale and height.

With respect to the adjacent housing to the Ballybough Road, Sackville Gardens, and Ardilaun Square, the layout, heights and alignment of the new development will have to be carefully considered to ensure an appropriate scale and relationship to the setting.



Figure 13: excerpt from DCC Development Plan Zoning Map



Figure 14: aerial view to Sackville Gardens

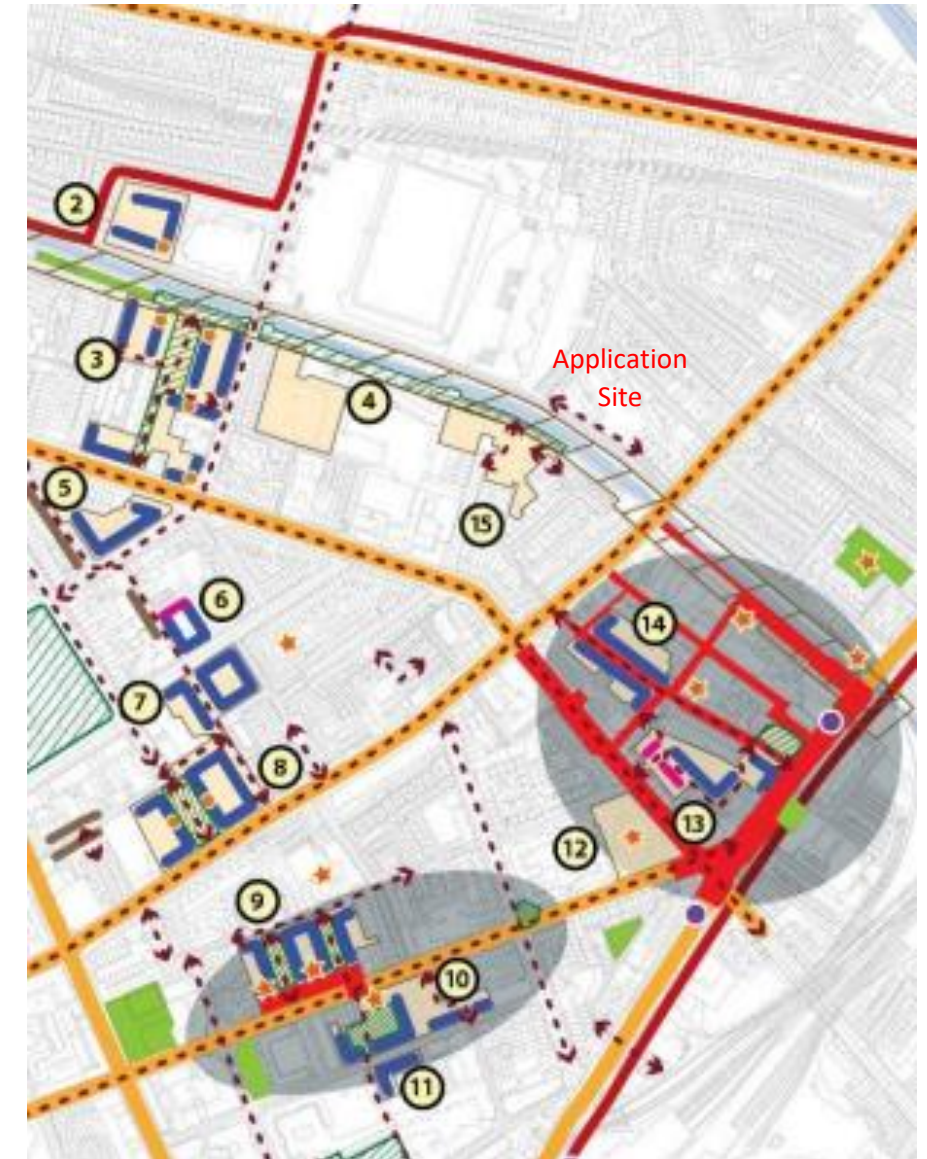


Figure 15: excerpt from DCC Development Plan SDRA10 Map



**3.3 Site Boundaries and Context**

The application site includes the public realm of Sackville Avenue and Ardilaun Square, with the development site having good frontage to both these roads.

The blank rear and side facades of the GAA handball alley define the development boundary to the north.

To the southwest, the site extends to a c 2.5m high rendered block boundary wall at the top of the railway line embankment.

The southeastern boundary is formed by the rear gardens and access laneway of the 2 storey over basement houses on Ballybough Road and Sackville Gardens.

Beyond the application boundary to the northwest are 2 storey dwellings on Ardilaun Square with Croke Park to their rear. To the northeast on the opposite site of Sackville Avenue are vacant lands, the site of former dwellings, now demolished.

**3.4 Site Features**

There is an approximate 2m level difference between the southeast and northwest corner of the site. This means any potential buildings will have a difference in levels and access to each block needs to be considered in relation to existing roads.

There are no trees within the application site. All existing trees in proximity to the site are located in rear gardens of the houses to Sackville Gardens. The protection and retention of these trees, and their root protection areas has been considered in this proposal.

The rail line to the south boundary brings potential source of noise and the treatment of the boundary also needs to be in accordance with the requirements of Irish Rail.

The importance of the new frontage to Sackville Avenue needs to be considered in line with the design of the new boulevard space.

**3.5 Orientation and Overshadowing**

The L-shaped plan form of the site, the handball alley to the north and adjacent 2-storey properties, means that there is little to no existing overshadowing of the site from adjacent properties along the south, west or east boundaries. This ensures that the development has good potential access to daylight and sunlight.

**3.6 Wayleaves for services**

Primary services and utilities are located on Sackville Avenue.

The provision of new services within the site will need to take consideration any existing services that are passing the site and the root protection area of any existing trees that are located along the site and to be retained.

**3.7 Boundary Development constraints**

Consultations took place between the project team and Irish Rail during the design development process. Irish Rail confirmed that a 2.4m high secure boundary is required along the rail line and that no trees or planting are permitted in this zone.

The rear gardens to the dwellings on Sackville Gardens and Ballybough Road have access to the existing laneways, that needs to be respected and retained in the Croke Villas development proposal.



Figure 16: site analysis.

**Legend**

- 1. Multiple potential site access points.
- 2. Access/frontage to Sackville Avenue.
- 3. Proposed boulevard to serve approach to Croke Park.
- 4. Existing flat block to be demolished.
- 5. Back lane frontage to SE.
- 6. Blank elevations to adjoining sports building.
- 7. Potential noise impact from adjoining rail line.



Figure 17: Birdseye view of site with application boundary outlined in red.



**3.8 Planning History & Development Strategy**

**3.8.1 Planning History:**

The application site is part of a wider residential regeneration project and has existing granted Part 8 Permissions:

- REF: 3857/17: Blocks A+ B - Site clearance works and the construction of 2 no. proposed apartment blocks along Sackville Gardens and Sackville Avenue, with communal play spaces to the rear of the blocks and carparking provided at basement level.
- REF: 2946/16: Demolition of four flat blocks at Croke Villas

Two Part 8 permissions have been granted to the north side of Sackville Avenue

- REF: 3435/17: Blocks C+D – Construction of 11 no. proposed 2 storey, 3-bedroom houses along Sackville Avenue with private amenity provided by means of rear gardens. On street carparking proposed.
- REF:3789/20: Block E – Demolition of existing derelict dwelling and construction of 3 no. 2 storey, 3 bed houses to match blocks C+D.

**3.8.2 Development Strategy:**

The development strategy for this application is to retain the key site and design approaches of the granted Part 8 Permission REF: 3857/17. This discussed in detail in Section 4. The key changes to REF: 3857/17 triggering this application are:

- Removal of the basement carpark
- Adjustment of blocks A+B building forms to align with existing building line and allow for on street parking.
- Change in numbers and unit mix.

It is anticipated that the remaining demolition works permitted under REF: 2946/16 will be completed prior to the commencement of works under this application.

Blocks C, D & E do not form part of this application. It is intended that these houses will be constructed utilising the existing permissions in parallel with the construction of the design for apartment blocks A & B contained in this application to achieve the wider goal of residential regeneration.

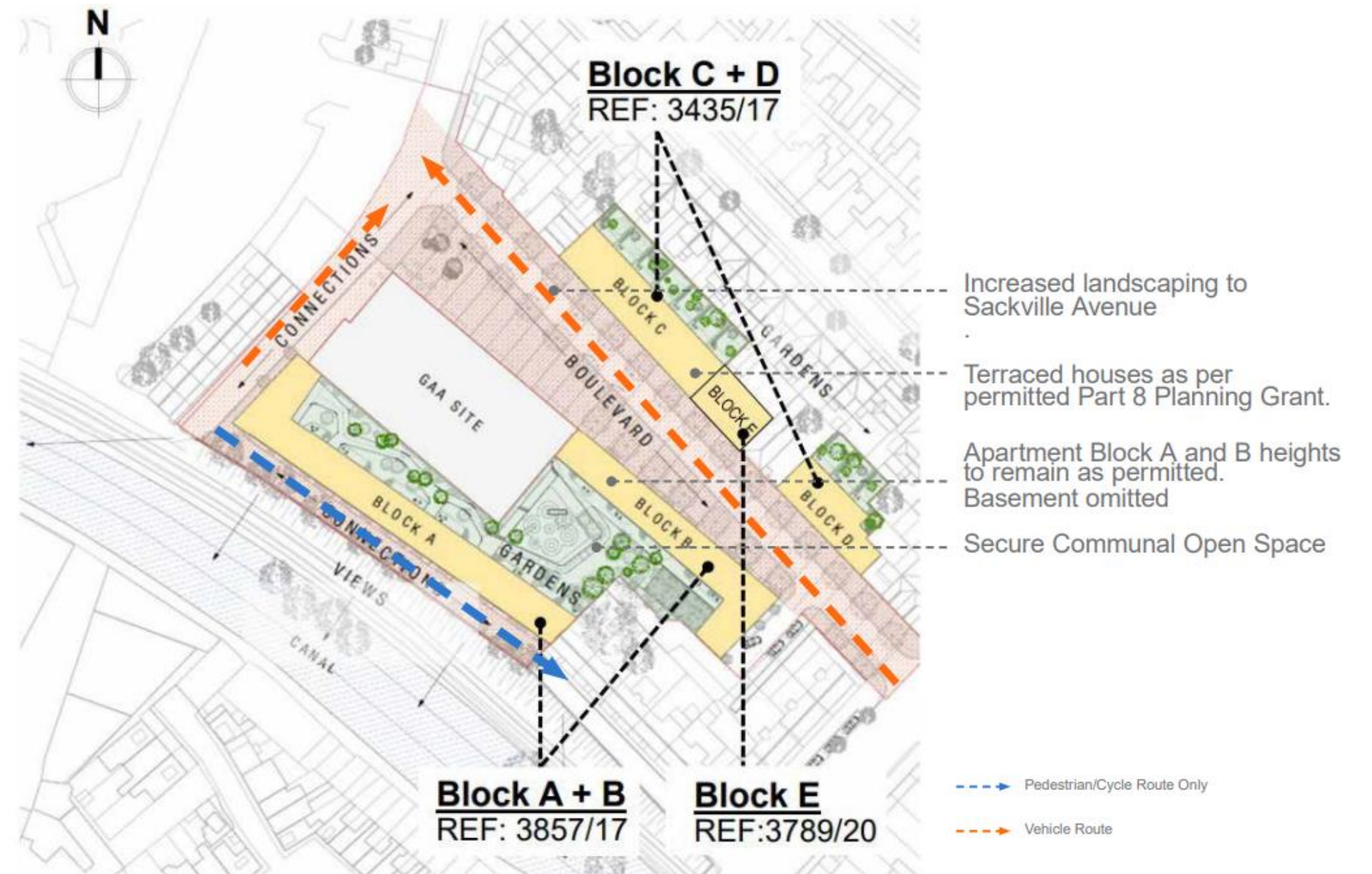


Figure 19: existing part 8 planning permissions & site development strategy.



Figure 18: 3D renderings of existing part 8 planning permissions.



**4. SITE MASTERPLAN**

**4.1 Development Considerations**

With regards to any requirement for the development of a masterplan for the subject site, the following are to be noted:

- The proposed development is not deemed to be of increased density, scale or height. Therefore, the requirement for the preparation of a masterplan as per Appendix 3 of the Dublin City Council Development Plan does not apply.
- It is proposed that the full extent of the subject site will be developed in a single phase.

Therefore, a Site Masterplan is not required for the subject development.



Figure 20: proposed street view down Sackville Avenue towards Ballybough Road



**5. BUILDING LAYOUT AND DESIGN.**

**5.1 Scheme Design**

**5.1.1 Site Layout**

The proposed residential development closely follows the Part 8 permission (Ref: 3857/17) with two L- shaped apartments blocks, A and B, forming a strong new edge along Sackville Avenue and creating a new link between Sackville Gardens and Ardilaun Square in accordance with SDRA 10 requirements.

The buildings enclose a secure landscaped courtyard for the residents accessed through the staircores with maintenance access provided from the existing laneway off Sackville Avenue to the southeast. The central courtyard acts as the communal open space that serves development users and includes the play spaces.

The primary façades align with the GAA handball alley and the existing dwellings on Sackville Gardens. The building footprints are reduced from the existing Part 8 grant, aligning the northwest façade of Block A with the handball alley and allowing for surface car parking at the ends of both blocks.

The previously permitted basement with its parking, plant and ancillary spaces is omitted in this application.

The public, communal, and private realms are all very clearly defined within the proposed development. This has largely been achieved by using the building to define the boundaries between each. Where this is not possible (such as where the private spaces of ground floor terraces meet the central communal space, buffer planting and fencing are proposed to define boundaries and ensure privacy is maintained.



Figure 21: proposed site layout.



5.1.2 *Public Realm*

The renewal of the public realm to Sackville Avenue and Ardilaun Square in line with the NEIC Greening Strategy is a key element of this application. Particular focus has been brought on the soft landscaping and surface treatment of Sackville Avenue as an upgraded primary approach route to Croke Park. This entire area is proposed as high-quality paving, planted with 15 trees on each side to echo the players on two GAA teams. Tree pits and planter beds further soften the visual appearance of the space and contribute to the SUDS strategy. The existing roadway is realigned providing a wider path and green buffer strip to the proposed houses to the north. Road kerbs are eliminated, and pedestrian movement is prioritized. The new paving is brought up to the building line of the handball alley forming a plaza for gathering on match days. The quantum of soft landscaping is increased in front of Block A reflecting the residential use. The on-street parking to the existing houses on Ardilaun Square is retained and formalised in the proposal.

The link between Sackville Gardens and Ardilaun Square is for pedestrian, cycle, and fire tender/maintenance access only. This paved shared surface will have bollards at each end allowing for permeability but preventing regular vehicle access. A landscaped buffer strip is proposed to the building line but no trees or planting is proposed for the boundary to the railway in accordance with Irish Rail requirements



Figure 22: proposed street view down Sackville Avenue towards Ballybough Road



5.1.3 Blocks A & B

Block A is primarily facing the new pedestrian/cycle link between Ardilaun Square and Sackville Gardens, returning at its northern end to meet the handball alley and complete the building line.

Block B addresses Sackville Avenue returning at its southern end to from a street edge to the existing laneway.

Apart from the necessary ESB, Comms and meter rooms, ground level is primary own door dual aspect apartments to create an active engagement with the public realm. Each apartment features a landscape buffer to the street and a private terrace to the courtyard.

Recessed entrances are provided for the own doors units to create threshold between the public and private realms.

The Community/Cultural/Arts facility is provided in two multi-functional spaces on the southeast ground floor corner of Block B. This location, close to Ballybough Road on the approach to Croke Park ensures visual prominence and ease of access to the facility.

Both buildings are provided with separate secure bike stores within the main building forms, located in the returns at the north and south ends.

A large central bin store is located in a freestanding single storey structure off the laneway from Sackville Avenue at the southern end of Block B. A smaller secondary bin store for a portion of the residents in Block A is located at its northern return. This strategy ensures appropriate walking distances to stores for residents is maintained and allows for a central staging point off a service laneway for ease of collection.

At upper floors, two or three apartments are accessed from a single shared core. This ensures that all apartments are dual aspect, with balconies generally south facing. The exception is the returns of the buildings, with apartments either facing west or east.

All balconies are recessed into the primary building forms providing shelter and privacy for residents, with no impact on the public footpaths. Balconies are staggered from floor to floor to provide a sense of dynamism, variety and activity across the simple building forms.

To maximise own door residential use at ground level water tanks, plant and equipment are located at roof level. The main plant provision is in the pitched roof space with external access via roof deck or directly from the cores on top level. The arrangement proposed ensures that adequate sunlight can still be maintained to the communal open space.

**Legend**

- 1. Community/Cultural/Arts
- 2. Communal Staircore
- 3. Own Door Access Unit
- 4. Bike Store
- 5. Bin Store
- 6. Comm/Meter Room
- 7. ESB Substation/Switch Room



Figure 23: ground floor layout of blocks A&B



Figure 24: typical upper floor layout of blocks A&B



**5.2 Height, scale, and massing**

The SDRA requirements for a density in excess of 100uph will result in a significantly denser development than that of adjacent housing. This will in turn result in a proposed residential building of increased scale and density. This should be seen as an opportunity, as variety in building height is an important component in helping to achieve a sense of place and create an attractive built environment.

This approach also aligns with the Development Plan goal of creating sustainable neighbourhoods, with a range of household types and tenures located in close proximity to community facilities and services to deliver patterns of development in line with the principles of the 15-minute city

The proposed buildings must be considered against the scale not just of the adjoining 2 storey over basement dwellings but also the immediate context of the GAA Handball alley (13-19m) and the Cusack Stand of Croke Park (38-42m)

The building forms, massing and heights are aligned with the previously permitted Part 8 application. Block A addressing the expanse of the railway line and canal is 5 storeys, while Block B to Sackville Avenue is reduced to 4 storeys.

Both buildings have a predominant pitched sawtooth roof profiles enclosing plant, equipment and water storage, with flat roofs to the end returns facilitating the provision of PV panels. The pitched roof forms resonate with the adjoining dwellings and provide a rhythm and variety to the massing.

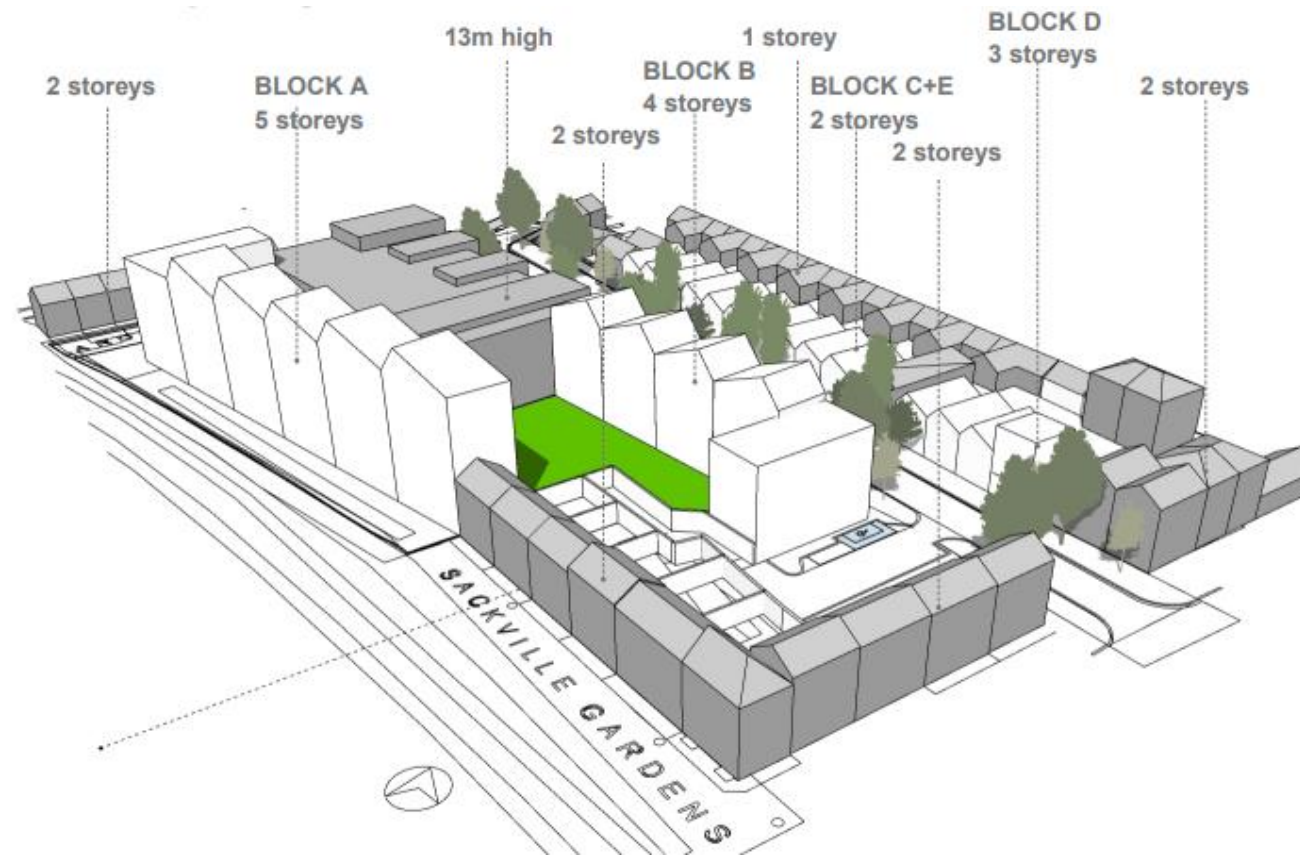


Figure 25: view from Ballybough

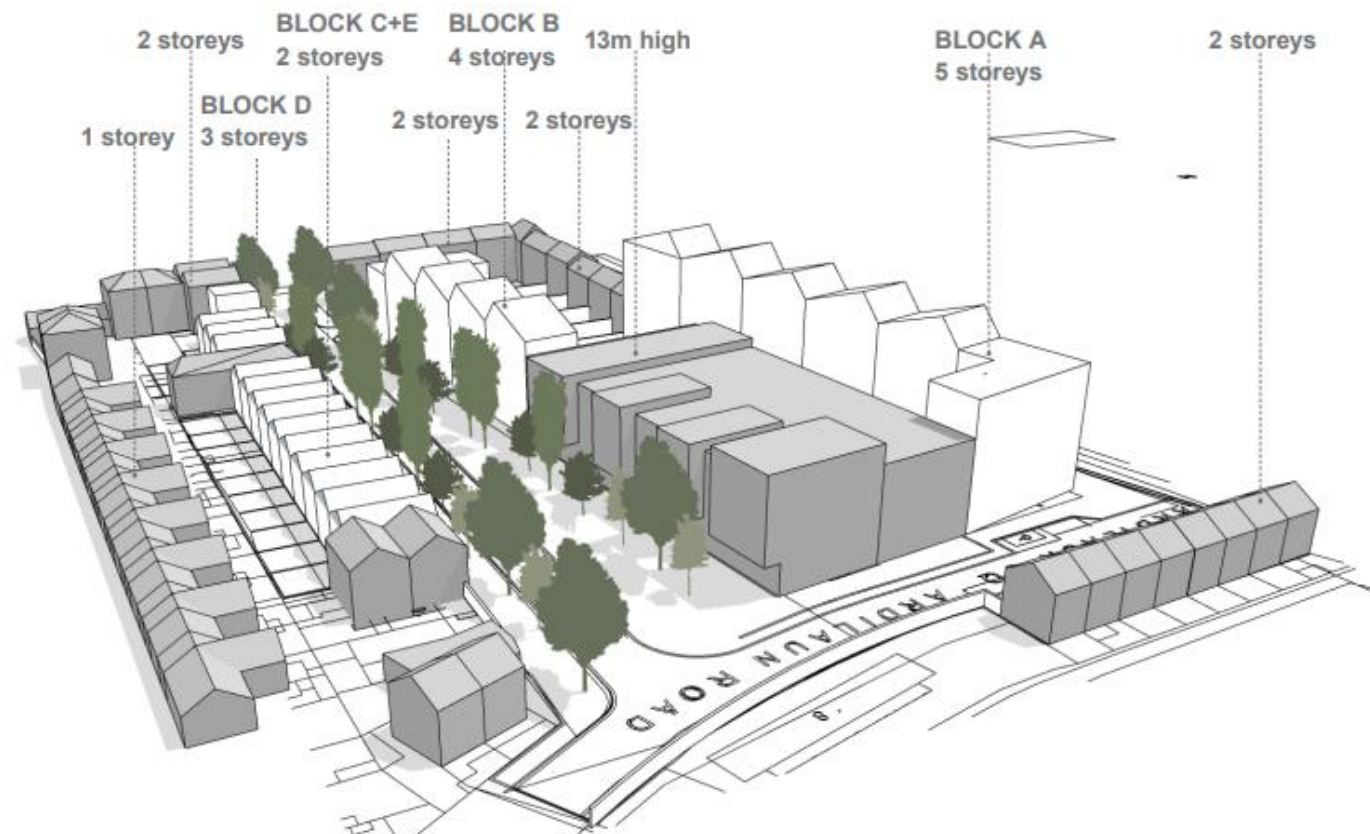


Figure 26: view from Croke Park



**5.3 Materials and finishes.**

The palette of existing building materials in the Ballybough area is a mixture of brick and painted or pebble-dashed render.

Given the prominence of the buildings on the approach to Croke Park and the visibility when crossing the canal on Ballybough Road a high-quality brick finish is proposed for the entirety of the external walls to both Blocks A and B.

This brick option has been selected as it is deemed to be sufficiently robust and durable for longevity, but with enough softness to appear sympathetic to the finishes palette of the locality.

Two separate brick colours have been chosen, to provide sufficient intelligibility and articulation to the design, with each colour used to respond to the context as described below.

The facades to the public realms of Sackville Street, Ardilaun Square and the new link to Sackville Gardens are a multi coloured red/brown textured clay brick in harmony with the red rusted corten steel cladding of the handball alley and the varied bricks of Ballybough Road, Sackville Avenue and Ardilaun Square.

A multi coloured white/ grey textured clay brick is proposed as a lighter visual response for the resident's communal open space. The change in brick responds to the enclosed nature of space contributing to the sense of openness and daylight to improve the amenity.

Simple brick soldier courses are proposed for the window and door heads to articulate the openings in the facades.

The glazing to the staircores is clad in powder coated aluminium fins. Combined with projecting aluminium clad canopies identifies the shared entrances, provides a rhythm to the longer facades, and differentiates between the private and communal areas. The expression of the fins is also proposed for the short side of the corner balconies to both blocks.

Aluminium framed glazing to living spaces and bedrooms is full height, both to achieve the daylight requirements and provide a pleasing relationship of solid to void in the brick volumes.

Staggered recessed brick balconies with powder coated vertical metal balustrades further contribute to the voids in the external form.

The Community/Cultural/Arts spaces on the corner of Block B are articulated through splayed recessed entrances with powder coated aluminium clad walls that wrap up and out into projecting aluminium canopies. This identifies them to the wider public arriving at the building, differentiates them from residential use, but utilises the common material language of the design.

The pitched roofs to both buildings are a green roof build-up. The flat roofs at either end housing the PV panels are concealed by a solid brick parapet.

Elements of the recessed roof gable walls facing into the courtyard are louvered to provide the air supply necessary for the functioning of the plant and equipment.



Figure 27: Block A – southwest elevation (street)



Figure 28: Block A northeast elevation (Courtyard)

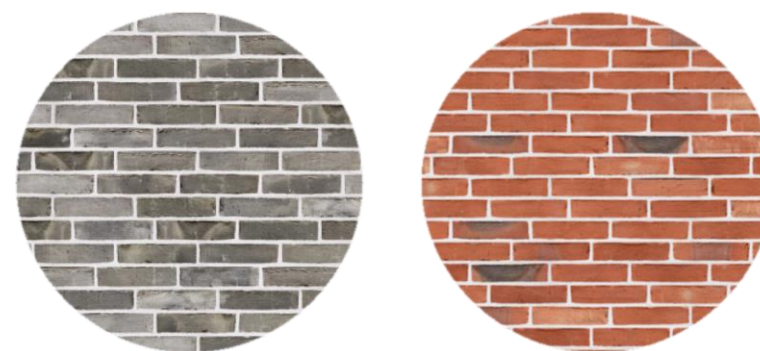


Figure 29: Typical brick selection





**5.4 Site Connectivity and Permeability**

The site has good existing street frontage to Sackville Avenue and Ardilaun Square providing connectivity to the wider existing context.

The site layout reflects the aspirations of SDRA 10 and includes for the permeability link between Sackville Gardens and Ardilaun Square. As previously noted, this is proposed primarily a pedestrian and cycle route, with bollards at each end preventing regular vehicular traffic and retaining both existing streets as cul de sacs. This paved surface is required for fire tender access and façade maintenance to block A and has been designed as such.

Several existing dwellings on Sackville Gardens have access from their rear gardens to a shared laneway leading to Sackville Avenue. This arrangement, respecting any existing legal rights of way is retained in this application. The laneway is gated beyond the ESB substation, complying with ESB requirements, and securing the lane from potential anti-social behaviour.

The development is an infill site, with no requirement for vehicular permeability between the apartment blocks themselves.

**Legend**







-  Existing Street Frontage
-  New Pedestrian/Cycle Connection (SDRA)
-  Own Door Residential Access
-  Communal Staircore Access
-  Community/Cultural/ Arts Access
-  Bicycle Store Access



Figure 30: view from Croke Park



**5.5 Boundary Treatments**

The existing and proposed boundary treatments are identified on Coady Architects drawing '05704 – Proposed Boundary Treatments' and can be summarised as follows:

- Existing boundary walls and gates to Croke park are retained.
- Existing boundary walls to the rear gardens of Sackville gardens are retained. The walls will be rendered to the public realm.
- Existing low walls and boundary railings to the houses on Ardilaun Square are retained.
- Existing c 2.4m high palisade fence to the north side of Sackville Avenue is retained. This boundary will be developed under the existing permissions REF: 3435/17: Blocks C+D – Construction of 11 no. proposed 2 storey, 3-bedroom houses and REF:3789/20: Block E – Demolition of existing derelict dwelling and construction of 3 no. 2 storey, 3 bed houses to match blocks C+D.
- Existing c. 2.5m high rendered blockwork wall along the southwest boundary to the train line is to be removed and replaced with a c 1.3m high stone wall with a 1.1m railing above. The new stone wall will match the existing boundary wall between Sackville Gardens and train line in terms of quality, materials, detailing and quality of workmanship e.g. capstone profile, module size, joint treatment etc. The new boundary is 2.4m high overall and no planting is proposed in its vicinity in accordance with Irish Rail requirements.
- Existing c. 0.9m high brick/stone wall with 2.4m palisade fence above at the north end of Sackville gardens is to be removed and replaced with bollards to provide the connectivity required by the SDRA.

**5.6 Acoustics**

Due to the proximity of the rail an Inward Noise Impact Assessment including a baseline noise survey was carried during the design development process. An Acoustic Design Statement prepared by Wave Dynamics accompanies this report. This report includes the building envelope performance requirements required to achieve adequate internal noise levels. The report also confirms that the external amenity spaces in the development achieve the targeted noise levels.

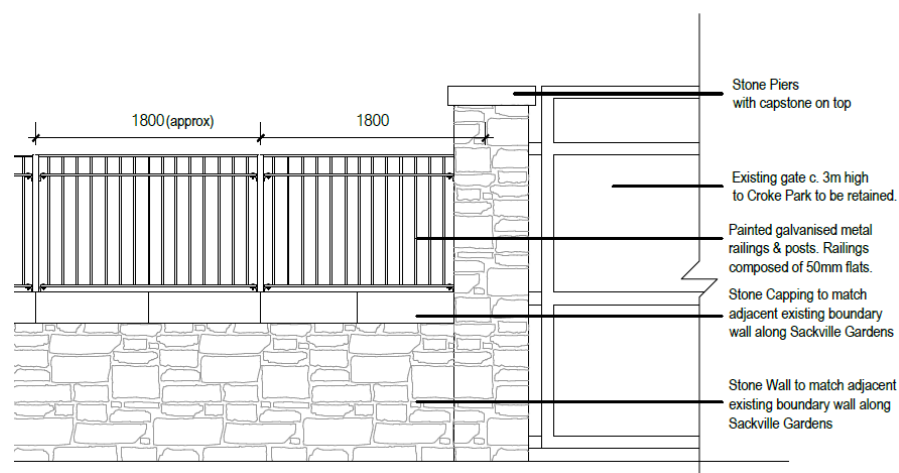


Figure 31: proposed stone wall and railing to railway line

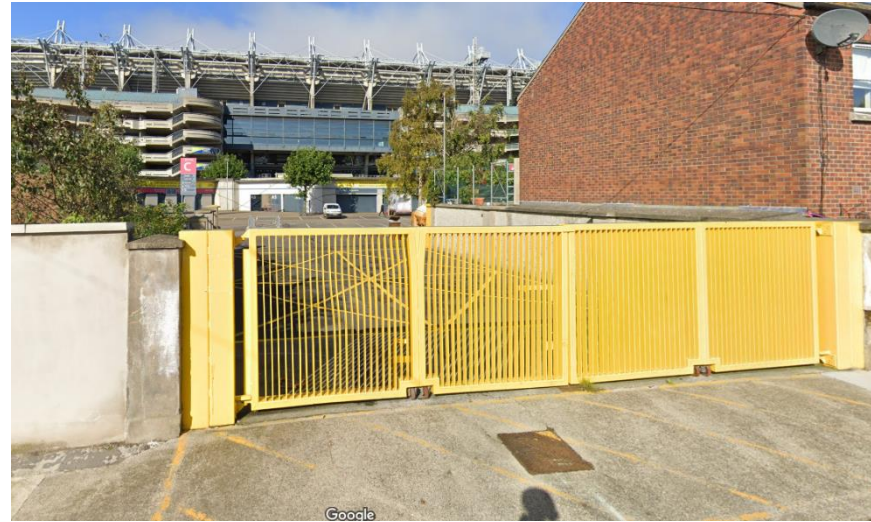


Figure 32: existing boundary walls and gates to Croke Park retained.



Figure 33: existing lows walls and railings to Ardilaun Square retained.



Figure 34: existing boundary wall to railway line removed and replace with stone wall and railings



Figure 35: existing walls to rear of Sackville Gardens retained and rendered to public realm



Figure 36: existing palisade fence to north side of Sackville Avenue



Figure 37: existing palisade fence and wall removed and bollard provided



6. OPEN SPACE

6.1 Landscape Design Strategy

The landscaping and biodiversity proposals are described in detail in the Landscape Report from Mitchell & Associates.

This development will include a green boulevard leading to the entrance of Croke Park. This streetscape has been carefully designed to integrate subtle references to the GAA, which serves as the backdrop to the site. These references include the configuration of the street trees that line Sackville Avenue, which have 15 on either side – referencing GAA having 15 players per team – and are grouped in a way that reflects the positions of players in a GAA squad.

The design of the street incorporates significant wildlife enhancements using large rain gardens and a variety of native Irish tree species. These landscape features are placed strategically to allow for the movement of large numbers of pedestrians to-and-from the Croke Park stadium. The scheme also includes an extension to Sackville Gardens in front of the proposed Block A building as well as an enhanced layout of Ardilaun Road, both of which include wildlife and visual enhancements.

The communal open space is framed neatly by the proposed Blocks A and B, as well as the existing GAA Handball Alley building. The space incorporates a dynamic system of paths and green spaces containing flexible amenities including creative play equipment integrated into the landscape, with seating areas, and natural environments of shrubs and tree planting.

All areas of the scheme incorporate SUDS features and native tree and shrub planting. Raingardens serve streets as well as the enclosed courtyard space. These collect surface water and allow for slow and natural infiltration into the ground.

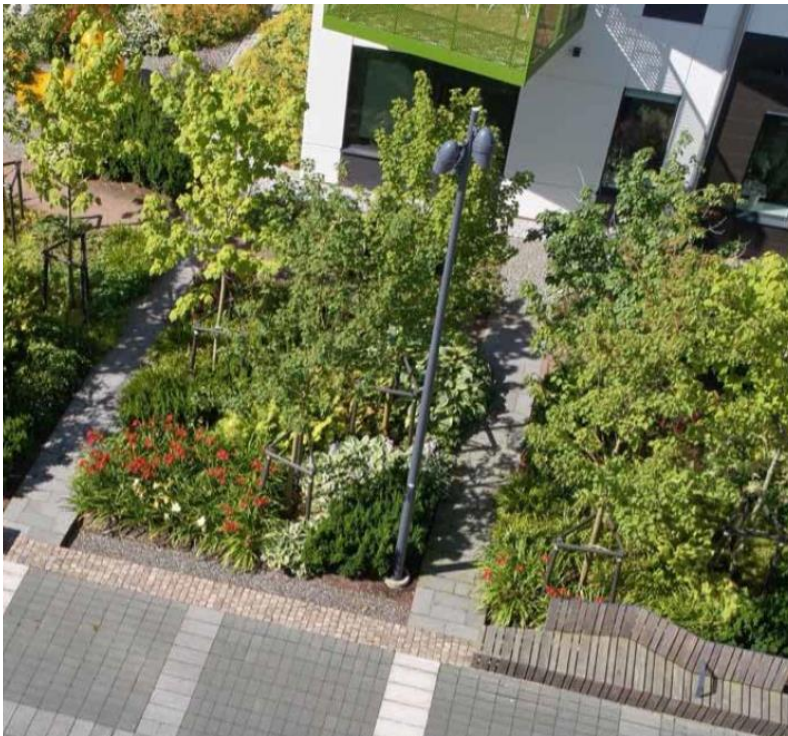


Figure 38: reference image of proposed rain gardens to Sackville Avenue



Figure 39: proposed landscape plan.



**6.2 Public Open Space**

A minimum provision of 10% public open space (POS) is required, as per the zoning objectives for the site. The proposed boulevard upgrade works to Sackville Avenue forming the approach to the Cusack Stand significantly exceeds this requirement. Calculations are based on the net site area excluding the public roads and paths, consistent with the density calculation.

POS	Area (Ha)	%
Site Area (Gross)	0.8800	
Site Area (Net)	0.5203	100%
Required	0.0520	10%
Delivered	0.0961	18%

**6.3 Communal Open Space**

A single communal open space is provided within the central internal courtyard, clearly defined by the existing and proposed buildings. The proposed arrangement ensures that the communal space is secure, with access only possible for residents or invited guests. Communal amenities, such as bin and cycle storage are accessible from the courtyard and help to ensure that the space is actively utilised. A mix of uses are proposed within the communal open space, and further details can be found within the landscape documentation included separately within application.

The following table sets out the minimum requirements and actual provision of communal open space for the development.

COS	Total	M <sup>2</sup> /apt	Total M <sup>2</sup>
1B2P Apartment	5	5	25
2B4P Apartment	47	7	329
<b>Required</b>			<b>354</b>
<b>Delivered</b>			<b>500</b>

**6.4 Public Realm Contribution**

The proposed development will revitalise a current brownfield site, which at present is inaccessible. The development will have significant public realm contribution with be the upgrade of Sackville Avenue in the approach to Croke Park, the plaza to the Handball Alley and the new link between Sackville Gardens and Ardilaun Square.

The upgraded public realm functions not just for gathering and movement of crowds on match days, but as a landscaped setting to the residential development accessible to the wider community passing down Sackville Avenue or utilising the handball alley and Community/Cultural/Arts facilities.

**6.5 Private Open Space**

Private open space to apartments differs between ground and upper floors. At ground level, ground floor perimeter apartments are accessed from the street, with private terraces onto the internal courtyard. Buffer planting and balustrades are provided to ground floor terraces to ensure sufficient privacy for residents. At upper floors, each apartment has a private balcony recessed into the primary building form for shelter and privacy.

Balconies are generally south facing to the street in Block A and south facing to the courtyard in Block B with a small number of east and west facing balconies and the returns of each building. Balconies are generally finished with a vertical railing, to offer visual permeability for views to the surroundings context. Each balcony is sized to meet or exceed the minimum area targets of:

- 5m<sup>2</sup> for 1B2P
- 7m<sup>2</sup> for 2B4P



Figure 40: public and communal open space



**7. RESIDENTIAL AMENITY**

**7.1 Compliance with Internal Design Standards**

All apartments have been designed to comply with the current DCC Development Plan (2022-2028), and with the design standards for new apartments-guidelines for planning authorities (2022).

A full breakdown of the statistics associated with the individual unit types in contained in the Housing Quality Assessment.

Proposed standard apartments are typically:

- 1B2P apartment - Gross Internal Floor Area (GIFA) = 55m<sup>2</sup> to 56.7m<sup>2</sup>
- 2B4P apartment - Gross Internal Floor Area (GIFA) = 76.7m<sup>2</sup> to 80.7m<sup>2</sup>

Proposed UD apartments are typically:

- 2B4P UD - Gross Internal Floor Area (GIFA) = 80.7 m<sup>2</sup> to 89.6m<sup>2</sup>

The minimum provision of 50% '+10%' apartments is achieved with 56% of the units exceed minimum area plus 10%.

31% of the units are UD apartments, exceeding the 25% minimum target.

All of the units are dual aspect.



Figure 41: proposed view along Ardilaun Square



7.2 Daylight and Sunlight.

A daylight and sunlight assessment has been completed for the proposed development, and the Digital Dimensions report is included separately as part of this submission. A high level of compliance has been achieved, summarised below.

7.2.1 Daylight to Adjacent Properties

The impact on the VSC levels is in-line with the recommendations for developments in urban locations and the Sustainable and Compact Settlements: Guidelines for Planning Authorities (2024).

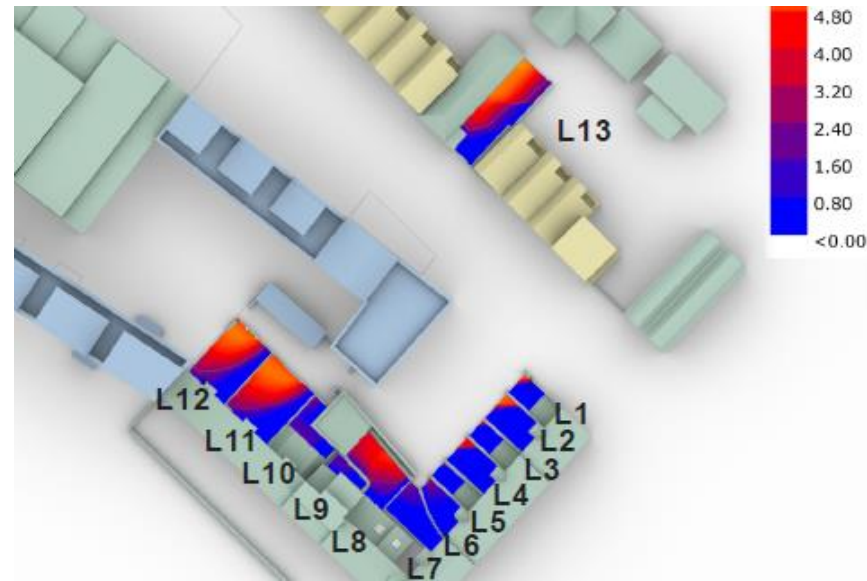


Figure 42: amenity space to neighbouring properties

No.31 Sackville Avenue

There is a small reduction to the in VSC levels to the windows at 31 Sackville Avenue, however, the VSC levels are not reduced below 80% of the existing values and meet the recommendations of The BRE guidelines BR209:2022 (third edition). There reduction is in-line with the reduction in VSC values of the planning permitted scheme Reg Ref.: 3455/17. The results show no substantial change in impact from the permitted building to the proposed development.

Nos 2 - 5 Ballybough Road

There is a small reduction to the in VSC levels to some of the windows at Nos 2 - 5 Ballybough Road, however, the VSC levels are not reduced below 80% of the existing values and meet the recommendations of The BRE guidelines BR209:2022 (third edition). There reduction is in-line with than the reduction in VSC values of the planning permitted scheme Ref.: 3455/17. The results show no substantial change in impact from the permitted building to the proposed development.

Nos 8 – 15 Ardilaun Sq.

There is a reduction below the VSC levels to several windows. The reduction in VSC levels is in-line or less than that of the planning permitted scheme Ref.: 3455/17. The results show no substantial change in impact from the permitted building to the proposed development. Windows which fall below >27% VSC or <27% but >80% existing value will experience a similar level of impact from the extant permission.

The values achieved range from 61-79%. It is argued that this outcome is acceptable given the urban high density infill nature of site and the heights required to meet the SDR standard of 100uph.

This approach is recognised within the Urban Design Manual:

“Where design standards are to be used (such as the UK document Site Layout Planning for Daylight and Sunlight, published by the BRE), it should be acknowledged that for higher density proposals in urban areas it may not be possible to achieve the specified criteria, and standards may need to be adjusted locally to recognise the need for appropriate heights or street widths.”

It is important to recognise that the guideline targets published by the BRE are intended to be employed with a degree of discretion and flexibility. The flexibility available in the BRE guide is outlined in the introductory section:

“The advice given here is not mandatory and this document should not be seen as an instrument of planning policy. Its aim is to help rather than constrain the designer. Although it gives numerical targets these should be interpreted flexibly because natural lighting is only one of many factors in site layout design.”

7.2.2 Sunlight to Adjacent Properties

There will be minimal reduction to the available sunlight to the neighbouring properties and any impact will be imperceptible. There will be no reduction to sunlight to existing adjacent private amenity spaces and are any perceived reduction will be negligible.

7.2.3 Assessment of Daylight within the Proposed Development

100% of the living, dining, kitchen, and bedroom spaces within the proposed development achieve the target values set out in BS EN 17037:2018+A1:2021 section NA1. These are the minimum values, per specified use, to be achieved in habitable rooms and meets the recommendations of the BRE guidelines.

7.2.4 Assessment of Sunlight within the Proposed Development

This scheme is well designed for sunlight, with 71.2% of units meeting the minimum recommended 1.5 direct sunlight hours. This is in line with the BRE guideline example for an apartment layout where 1 in 5 achieves the target sunlight hours.

7.2.5 Sunlight to the Amenity Space within the Proposed Development.

All of the proposed communal and public amenity spaces achieve sunlight levels that exceed 2 hours sunlight over 50% of the amenity space on the 21st of March.

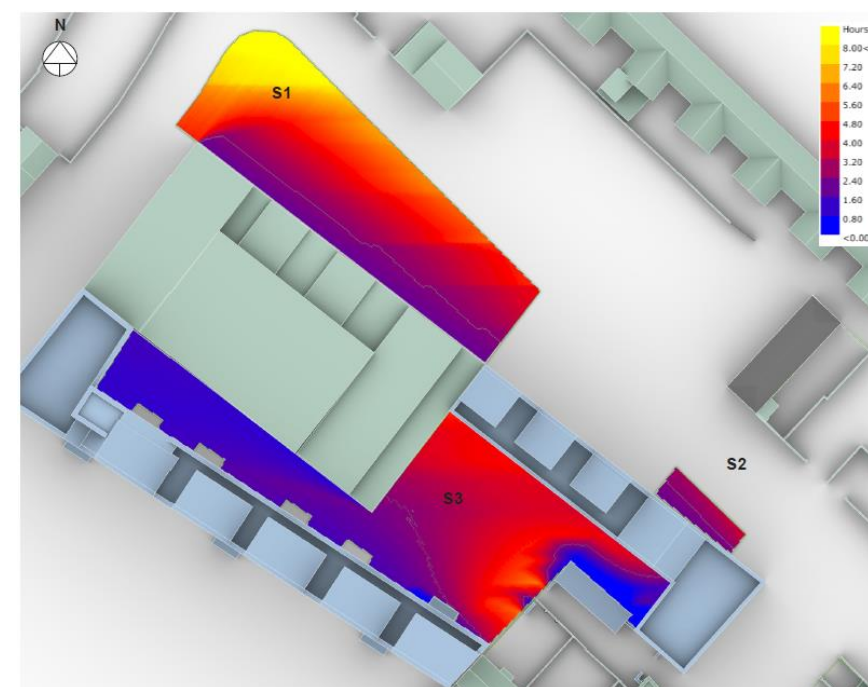


Figure 43: sunlight to amenity within the proposed development.



**Block A - Minimum illuminance levels from BS EN17037:2018+A1:2021 - Table NA.1**

Space ID	Use	Area m <sup>2</sup>	Sensor Count	Target Lux	Mean Lux	% of grid target exceeded: Minimum 50% of grid	Meets Criteria
A01.1	LKD	29.9	282	200	1078	100.0%	Y
A01.2	Bed	9.9	80	100	237	100.0%	Y
A01.3	Bed	13.2	112	100	523	100.0%	Y
A02.1	LKD	27.8	249	200	859	100.0%	Y
A02.2	Bed	9.3	72	100	2018	100.0%	Y
A02.3	Bed	13.1	110	100	191	60.0%	Y
A03.1	LKD	27.8	249	200	835	100.0%	Y
A03.2	Bed	9.3	72	100	1076	100.0%	Y
A03.3	Bed	13.1	110	100	180	58.2%	Y

Figure 44: block A minimum room specific daylight provision



**Block A - Minimum illuminance levels from BS EN17037:2018+A1:2021 - Table NA.1**

Space ID	Use	Area m <sup>2</sup>	Sensor Count	Target Lux	Mean Lux	% of grid target exceeded: Minimum 50% of grid	Meets Criteria
A21.1	LKD	30.0	276	200	531	100.0%	Y
A21.2	Bed	11.4	92	100	1025	100.0%	Y
A21.3	Bed	16.8	142	100	605	100.0%	Y
A22.1	LKD	30.1	271	200	1102	100.0%	Y
A22.2	Bed	12.8	108	100	1524	100.0%	Y
A22.3	Bed	9.6	77	100	892	100.0%	Y
A23.1	LKD	29.2	267	200	1023	100.0%	Y
A23.2	Bed	11.3	96	100	548	100.0%	Y
A23.3	Bed	10.6	88	100	2001	100.0%	Y
A24.1	LKD	27.0	236	200	532	100.0%	Y
A24.2	Bed	13.2	108	100	1506	100.0%	Y
A24.3	Bed	10.1	80	100	1806	100.0%	Y
A25.1	LKD	29.2	267	200	1056	100.0%	Y
A25.2	Bed	11.3	96	100	607	100.0%	Y
A25.3	Bed	10.6	88	100	1995	100.0%	Y
A26.1	LKD	27.0	236	200	583	100.0%	Y
A26.2	Bed	13.2	108	100	1492	100.0%	Y
A26.3	Bed	10.1	80	100	1827	100.0%	Y
A27.1	LKD	28.3	263	200	1078	100.0%	Y
A27.2	Bed	11.4	96	100	700	100.0%	Y
A27.3	Bed	10.6	88	100	1900	100.0%	Y
A28.1	LKD	30.0	276	200	536	100.0%	Y
A28.2	Bed	11.4	92	100	1421	100.0%	Y

Figure 45: block B minimum room specific daylight provision



**7.3 Overlooking, Overbearing, & Overshadowing**

It is noted that proposed development is of an increased scale and density relative to adjacent low-rise, 2-storey housing, which could give rise to the potential for overbearing. The building heights and proposed number of units have been considered to meet the minimum 100uph required by the Development Plan.

The 5 storeys of Block A are easily absorbed in its context of the canal and rail line. The pitched roof element terminates before the northern gable return of the building reducing the parapet height in the proximity of the houses to Ardilaun Square.

Block B at 4 storeys is more modest proposal respecting the proposed context of the 2 and 3 storey terraced houses to the north of Sackville Avenue. Similar to Block A the pitched roof element terminates before the return end gable of the block reducing the parapet height in the proximity of the existing houses to Ballybough Road and Sackville Gardens.

The proposed development does not give rise to any separation distance between opposing windows of less than 16m, either to the front or rear of any existing dwellings.

The orientation and setbacks to adjacent properties also ensure that there are no overshadowing implications. A shadow study has been completed and is included in the Digital Dimensions Daylight and Sunlight Assessment.

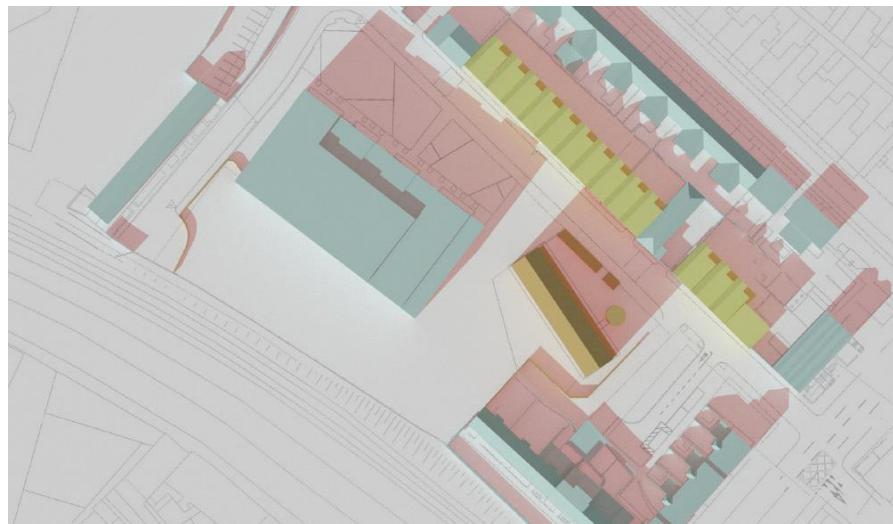


Figure 47: shadow study 21<sup>st</sup> march at 3pm – existing (with permitted houses)

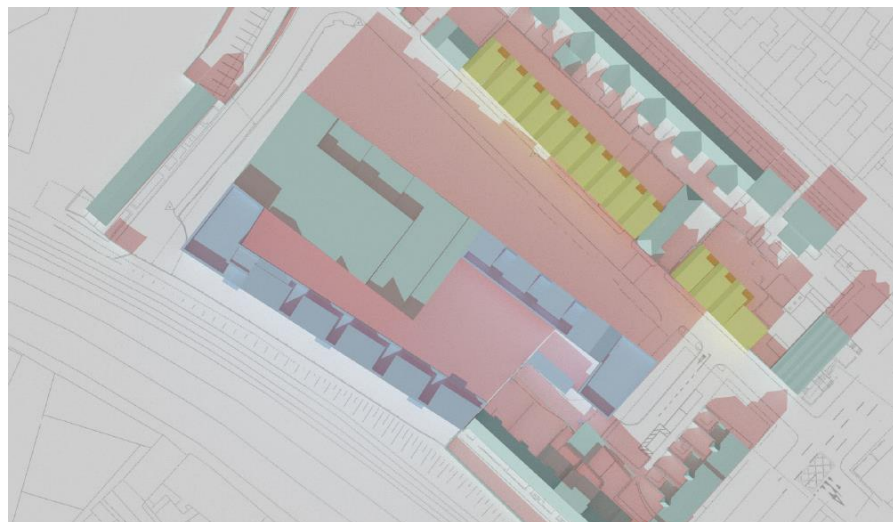


Figure 48: shadow study 21<sup>st</sup> march at 3pm – proposed (with permitted houses)

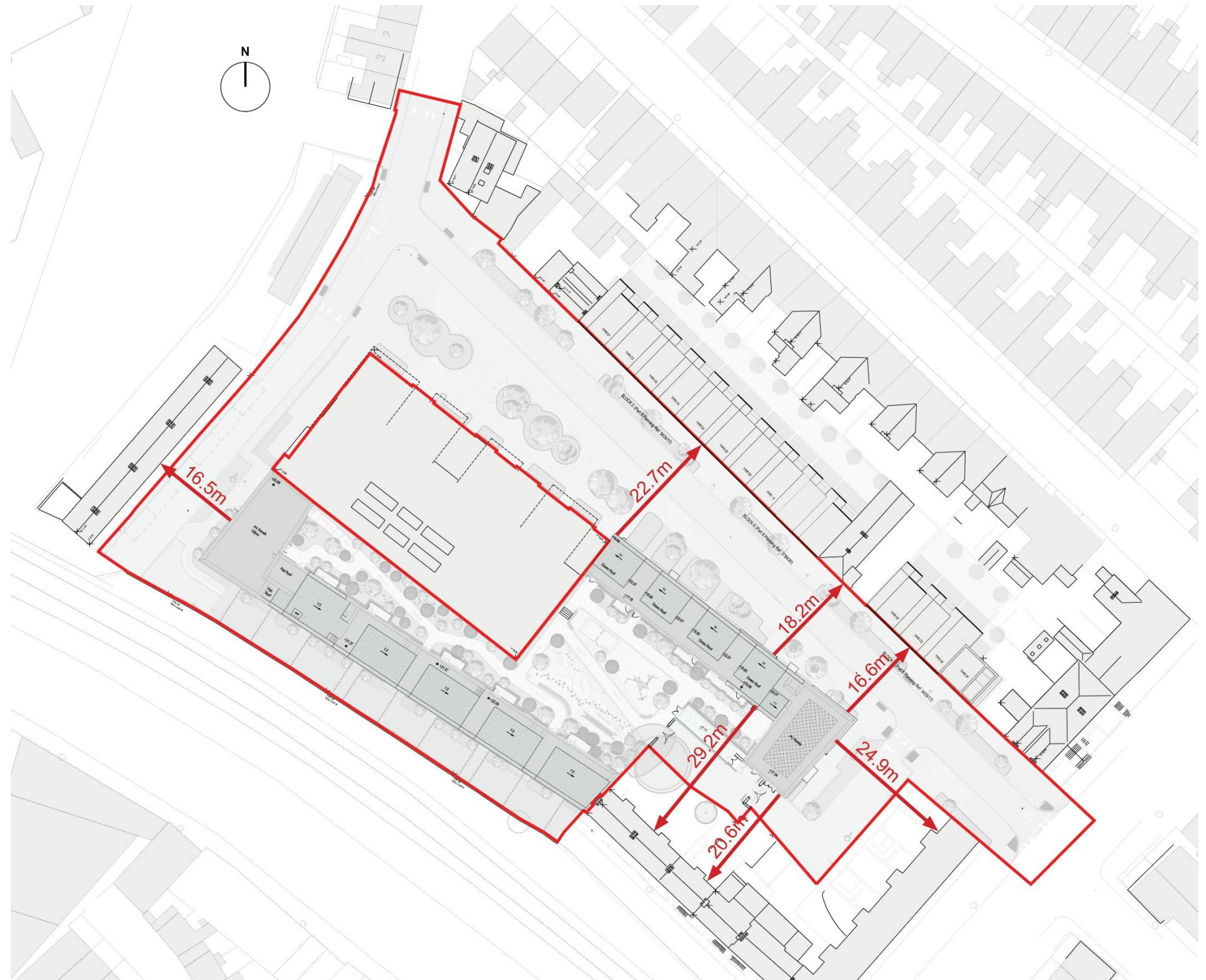


Figure 49: distances to boundaries



**8. COMMUNITY CULTURAL & ARTS FACILITIES**

**8.1 Requirements**

*“CU025 SDRAs and large-Scale Developments*

*All new regeneration areas (SDRAs) and large-scale developments above 10,000 sq. m. in total area\* must provide at a minimum for 5% community, arts and culture spaces including exhibition, performance, and artist workspaces predominantly internal floorspace as part of their development at the design stage.....The balance of space between cultural and community use can be decided at application stage, from an evidence base/audit of the area. Such spaces must be designed to meet the identified need.*

The site is located within a SDRA, therefore, the provisions of CU025 have been applied at the subject development. Details

*“CUO30 Co-Design and Audits: Large development applications (over 10,000 sq. m., either in phases or as one application) will, in the absence of a DCC local area culture audit (CUO44 refers), be required to undertake a cultural audit for the local area to identify shortcomings within the area; and to work with DCC Arts Office to identify and agree appropriate arts or cultural uses, preferably as part of a co-design process in advance of lodging an application, for inclusion in the development. Such audits shall be informed by the existing cultural mapping resources in the Dublin City Cultural Infrastructure Study and by Culture Near You maps.”*

**8.2 Proposal**

The net internal area of the proposed development 4,206m<sup>2</sup>, which results in an area of 210 m<sup>2</sup> (5%) provision required at the site to comply with CU025. The proposed development includes 152 m<sup>2</sup> (4%) of internal community, arts and cultural use and the remaining 68 m<sup>2</sup> provision (1%) is proposed externally.

The proposed Community/Cultural/Arts facilities are located on the ground floor southeastern corner of Block B. This location, close to Ballybough Road on the approach to Croke Park gives the facility prominence in development and provides ease of access for all.

The internal area is split between two facilities either side of a communal staircore. The recessed metal clad entrances and canopies visually differentiate the facility from the adjoining residential use. This is reinforced in the treatment of the external landscape.

The external area is split between a terrace to the central courtyard and a landscaped entrance forecourt with bench seating and feature tree grilles for informal gathering.

The design is flexible in nature to cater for a range of cultural/arts and community activities. An indicative layout has been illustrated on the drawings with two 45-50m<sup>2</sup> spaces with folding partitions allowing for up to 4 rooms. These primary spaces are supported by WC's, stores and kitchenettes. The final details of the internal layouts will be discussed and agreed with Dublin City Council and the detailed design and tender stage of the project.

While not included in the calculation for CU025 compliance it is noted that the proposed works to Sackville Avenue with the integration of references to the GAA has a cultural value as a backdrop to the development and a contribution to the wider community.



Figure 50: community, cultural and arts layout.



Figure 51: community, cultural and arts location.



**9. ACCESS, CAR, AND CYCLE PARKING**

**9.1 Compliance with DMURS**

In line with National Policy, the development objective for the proposed site is to provide for higher-density infill development, in an urban location with good transport links. This helps to fulfil one of the primary objectives of DMURs, which is to encourage more sustainable travel, with pedestrians at the top of the user hierarchy, then cyclists, public transport and finally, private vehicles.

As the site is an infill development utilising the existing public road network, there are no new vehicular through routes for regular traffic. The proposed link between Sackville Gardens and Ardilaun Square is pedestrian/cycle with fire tender/maintenance vehicle access only.

The landscaping and surface treatments of Sackville Avenue, Ardilaun Square and the new link all prioritise pedestrian and cycle movement.

Full details for compliance with DMURS are contained in the engineering reports included in this application.

**9.2 Car Parking & Delivery Vehicles**

Carparking utilises the existing roads and is restricted to the northwest and southeast corners of the site.

This application proposes to formalise the 6 no. existing parking spaces on Ardilaun Square realigning the kerb to the south and provide new parking to serve the apartment blocks. The 3 existing demarcated parking spaces to the rear of the Ballybough Road dwellings are retained and unaffected.

Separate car parking is provided for each block with a accessible space as required by Technical Guidance Document Part M. Carparking provision and ratios are as per the table included below:

Car Parking	Total	%
Standard Parking	2	50%
Accessible Parking	2	50%
Delivery Vehicles	2	
Motorcycles	1	
<b>Total Apartments</b>	<b>52</b>	
<b>Total Parking</b>	<b>4</b>	<b>100%</b>
<b>Parking Ratio</b>	<b>0.08</b>	

An area for the temporary parking of a delivery vans is provided for each new building. The shared surface at the northern end of Block A and the area adjacent to the ESB substation at the southern end of Block B are both suitable for this purpose.



Figure 52: proposed car parking



**9.3 Cycle Parking**

For long term cycle parking, two dedicated stores have been provided, one for each building. The stores are positioned on the gable ends with easy access from the public roads.

Bicycle stores are in the form of secure indoor rooms with good lighting and are accessed both from the secure communal courtyard, and by means of a well overlooked, access-controlled doors on the building perimeter to the public realm. Visitor bicycle parking in the public realm is well overlooked from apartments above.

Both short term and long-term cycle parking has been provided as per Table 1, Appendix 5, Volume 2 of the Dublin City Development Plan 2022 - 2028. Demand and supply is as per the table below. The layout and arrangement of the proposed Cycle stores is compliant with The National Cycle Manual (2023), in terms of the functional dimensions and quality of parking facilities and the type of access to and from the spaces. The National Cycle Manual also advises on minimum provision of cargo bike parking and the demand and supply for both has also been provided in the table below. An EV charging point will also be provided in each bicycle store.

Short term cycle parking for visitors is provided in small clusters either at the building perimeter, or within the public open space. The Community/Arts and Culture space will also generate some short-term visitor parking, with a very modest number of long-term spaces for staff. However, as the long-term requirements are particularly low, it is proposed that both long term and short-term parking for the Community facility will be located within the public realm. Demand and supply calculations are as per the table below:

Cycle Parking	No.	Required		Proposed	
		Long Term	Short Term	Long Term	Short Term
1B2P Apartment	5	5	2.5		
2B3P Apartment	47	94	23.5		
Community, Cultural & Arts			4		
<b>Total</b>		<b>99</b>	<b>30</b>	<b>99</b>	<b>30</b>

**9.4 Emergency Access Vehicle Strategy**

It is proposed that Emergency Access Vehicles (EAVs) will have access to the outer building perimeter of both buildings, with direct access to each of the stair cores. The proposed EAV access point to the site is via Sackville Avenue, with the route running past the handball alley, along Ardilaun Square, down Sackville Gardens and exiting back to Ballybough Road. This route has been auto track designed for a suitable high-reach fire tender, and details are included in the civil engineering documentation of this application. In order to prevent the potential for the EAV route along the Sackville Gardens connection to be utilised for general vehicular access, locked, removable bollards will be included both at the northern and southern ends.

**9.5 Bins**

To ensure that design proposals comply with relevant legislation and the objectives of the Development Plan, an Operational Waste Management Plan (OWMP) has been prepared and accompanies this application. This report includes the strategies for achieving sustainable methods of waste and recycling management during the operation of the development. Provisions for dealing with the estimated waste arising from the development have been made in the sizing of the bin stores. These rooms will be brightly lit, safe and spacious enough for easy manoeuvrability, be well ventilated. Sufficient access and egress are provided to enable receptacles to be moved easily from the storage area to the collection point within the curtilage of the development. Refer to the Traynor Environmental OWMP for further information.



Figure 53: proposed cycle parking.



**10. URBAN DESIGN RATIONALE/ DESIGN CRITERIA**

The design rationale outlined below identifies the key issues considered during the design process for the proposed mixed-use scheme on the site, in compliance with key indicators of quality urban design and placemaking set out in Section 4.4 of Sustainable Residential Development and Compact Settlements Guidelines for Planning Authorities 2024.

**10.1 Sustainable and Efficient Movement**

**10.1.1 Permeable and legible network of streets and spaces within the site**

*Will the plan or development proposal establish a highly permeable and legible network of streets and spaces within the site that optimises movement for sustainable modes of transport (walking, cycling and public transport)?*

As the site is an infill development, there are no vehicular through routes. Vehicular access to the site is therefore for carparking and service vehicles only, and this is restricted to the extremities of the site.

The site layout reflects the aspirations of SDRA 10 and includes for the permeability link between Sackville Gardens and Ardiluan Square. This is proposed primarily a pedestrian and cycle route, with bollards at each end preventing regular vehicular traffic and retained both existing streets as cul de sacs. This paved surface is required for fire tender access and façade maintenance to block A and has been designed a such.

The upgrade works to Sackville Avenue with a high quality landscaping in the design of the boulevard incorporates historic and cultural references of the site to Croke Park.

The site avails of good public transport connectivity with Dublin Bus stops along Ballybough Road and proximity to Connolly and Drumcondra Train station.

**10.1.2 Connections with and between established communities, services and other uses**

*Have opportunities to improve connections with and between established communities been identified and responded to with particular regard to strategic connections between homes, shops, employment opportunities, public transport, local services and amenities?*

The proposed scheme is located within a predominately residential and neighbourhood services centre except for Croke Park and the associated museum. The accompanying Social Infrastructure Audit has identified a wide array of community services and amenities located in the vicinity of the site.

The site is located within walking distances to Fairview and Drumcondra centres as well as the city centre. The application site is ideally located within an established area that can serve the needs of perspective residents.

**10.1.3 Streets designed in accordance with DMURS.**

*Are streets designed (including the retrofitting of existing streets adjacent to or on-route to the site, where appropriate) in accordance with DMURS to calm traffic and enable the safe and comfortable movement of vulnerable users?*

In line with National Policy, the development objectives for the proposed site are to provide for higher-density infill development, in an urban location with good transport links. This helps to fulfil one of the primary objectives of DMURs, which is to encourage more sustainable travel, with pedestrians at the top of the user hierarchy, then cyclists, public transport and finally, private vehicles.

The application site includes the upgrade of Sackville Avenue and the creation of a new pedestrian/cycle access route along Sackville Gardens, which will also serve as an emergency vehicle route. The proposed new link along Sackville Gardens towards Ardilaun Road has been earmarked for

the delivery under the SDRA 10 North East Inner City guiding principles for the development of the area.

The proposed works on these streets have been designed in accordance with DMURS. Refer to the engineering reports included in this application for further details.

**10.1.4 Quantum of Parking minimised.**

*Has the quantum of parking been minimised (in accordance with SPPR4 where relevant) and designed and located in a way that seeks to reduce the demand for private car use, promote sustainable modes of transport and ensure that the public realm is not dominated by parked vehicles?*

The site is located within parking zone 2 due to its location along key transport routes. Owing to the site's proximity to public transport nodes and access to a range of services and amenities in nearby neighbourhood centres as well as its location to the city centre, reduced parking standards have been applied at the site. The maximum parking standards under zone 2 for houses, apartments/ duplexes is 1 per dwelling.

Having regard to the location and the urban infill nature of the site, it is considered appropriate that the car parking standards are significantly minimised to deliver upon key policy objectives of the development plan including consolidation of the built-up envelope, compact growth and the 15-minute city.

The proposal includes 4 no. spaces at a ratio of 0.08 spaces. Parking is provided at surface level at the gable ends of each building. The parking area benefits from a high degree of passive surveillance, both from the adjacent existing residential use and from the proposed buildings.

The proposal also benefits from designated cycle parking for residents and visitors.

**10.2 Mix of Land Uses (Vibrant Centres and Communities)**

**10.2.1 Mix and intensity of land uses appropriate to the site.**

*Is the mix and intensity of land uses appropriate to the site and its location and have land uses been distributed in a complementary manner that optimises access to public transport, amenities and local services via walking or cycling?*

The primary brief for the site was derived from the applicable zoning on the site of Z1 Sustainable Residential Neighbourhoods'. Residential is permitted under Z1. The zoning objective is to protect, provide and improve residential amenities. The DCCDP also indicates that the density of a SDRA should range from 100-250 uph. Given the proposed development is located in a SDRA, it is a requirement of the Development Plan to include a 5% provision of community, arts and cultural facilities.

The subject proposal is therefore deemed appropriate, as it meets the requirements of the SDRA.

**10.2.2 Diverse and varied range of housing types:**

*Have a diverse and varied range of housing types been provided to meet local and projected needs (having regard to the Housing Need Demand Assessment), supplemented by an innovative range of housing typologies that support greater housing affordability and choice?*

The proposed unit mix has been informed by the DCC housing waiting list for the area, which indicates 1 and 2 bed units represent c.88% of the demand for units in the area. The proposed unit mix will greatly contribute towards meeting the strong demand for this unit mix and housing typology in the area.

Furthermore, in compliance with DCCDP, in excess of 25% of the apartments have been designed in accordance with Universal Design Principles.

**10.2.3 Support the regeneration and revitalisation of an existing centre or neighbourhood.**

*Will the plan or development proposal supplement and/or support the regeneration and revitalisation of an existing centre or neighbourhood, including the adaption and re-use of the existing building stock in order to reduce vacancy and dereliction (where applicable) and promote town centre living (where applicable)?*

The subject development is regenerative for the wider community, in that it utilises a current brownfield site, and serves to provide housing led, in-demand facilities.

The proposal is a supportive and positive contribution to the regeneration and revitalisation of the Croke Villas, forming an urban edge to Sackville Avenue, connecting back to the existing urban grain and creating the appropriate conditions for the boulevard, all of which will complete a new and sustainable environment for all ages and abilities to use and enjoy.

The inclusion of the Community/Cultural/Arts provision stimulates the development of the wider community and the boulevard incorporates historic and cultural references of the site to Croke Park.

**10.2.4 Enhancement of the public realm**

*Is the regeneration and revitalisation of an existing centre or neighbourhood supported by the enhancement of the public realm so as to create a more liveable environment, attract investment and encourage a greater number of visitors (where applicable)?*

The renewal of the public realm to Sackville Avenue and Ardilaun Square in line with the NEIC Greening Strategy is a key element of this application, Particular focus has been paid on the soft landscaping and surface treatment of Sackville Avenue as an upgraded primary approach route to Croke Park. This entire area is proposed as high-quality paving planted with 15 trees on each side to echo the players on two GAA teams. Tree pits and planter beds further soften the visual appearance of the space and contribute to the SUDS strategy.

The existing roadway is realigned providing a wider path and green buffer strip to the proposed houses to the north (subject to a separate Part 8 Permission). Road kerbs are eliminated, and pedestrian movement is prioritized. The new paving is brought up to the building line of the handball alley forming a plaza for gathering on match days. The quantum of soft landscaping in front of Block A reflects the residential use. The on-street parking to the existing houses on Ardilaun Square is retained and formalised in the proposal. The link between Sackville Gardens and Ardilaun Square is for pedestrian, cycle, and fire tender/maintenance access only. This paved shared surface will have bollards at each end allowing for permeability but preventing regular vehicle access. A landscaped buffer strip is proposed to the building line but no trees or planting is proposed for the boundary to the railway in accordance with Irish Rail requirements.



Green and Blue Infrastructure (Open Space, Landscape and Heritage)

10.2.5 *Positively responded to natural features & landscape character*

*Has the plan or development proposal positively responded to natural features and landscape character, with particular regard to biodiversity, vistas and landmarks and the setting of protected structures, conservation areas and historic landscapes?*

The proposed development site currently contains a derelict five-storey apartment building, a field of grassland of low ecological value, and disturbed ground / building rubble. The site was formerly used for social housing and contained four apartment buildings on the southern side of Sackville Avenue (of the same design as the remaining apartment building) and some dwelling houses on the northern side. Three of the apartment buildings and most of the dwelling houses were demolished in late 2017; their foundations are still visible in parts of the Site. There are no notable natural or landscape features within the application boundary.

The proposal seeks to improve on this scenario in both the landscaping to the central communal courtyard and the 'greening' of the existing and proposed streetscape. The design incorporates significant wildlife enhancements through the use of large rain gardens and a variety of native Irish tree species. These landscape features are placed strategically to allow for the movement of large numbers of pedestrians to-and-from the Croke Park stadium and provide a buffer to the residential use at ground level.

A strategy for biodiversity improvement is proposed, proposals for which have been developed by the wider design team, with particular input from our consultant arborist, ecologist and landscape architect. The subject development proposes a net biodiversity gain.

10.2.6 *A complementary and interconnected range of open spaces, corridors and planted/ landscaped areas.*

*Have a complementary and interconnected range of open spaces, corridors and planted/ landscaped areas been provided, that create and conserve ecological links and promotes active travel and healthier lifestyles?*

The landscaping and biodiversity proposals are described in detail in the Landscape Report from Mitchell & Associates. This development will include a green boulevard leading to the entrance of Croke Park. This streetscape has been carefully designed to integrate subtle references to the GAA, which serves as the backdrop to the site. These references include the configuration of the street trees that line Sackville Avenue, which have 15 on either side – referencing GAA having 15 players per team – and are grouped in a way that reflects the positions of players in a GAA squad. The design of the street incorporates significant wildlife enhancements using large rain gardens and a variety of native Irish tree species. These landscape features are placed strategically to allow for the movement of large numbers of pedestrians to-and-from the Croke Park stadium. The scheme also includes an extension to Sackville Gardens in front of the proposed Block A building as well as an enhanced layout of Ardilaun Road, both of which include wildlife and visual enhancements.

The communal open space incorporates a dynamic system of paths and green spaces containing flexible amenities including creative play equipment integrated into the landscape, with seating areas, and natural environments of shrubs and tree planting. All areas of the scheme incorporate SUDS features and native tree and shrub planting.

10.2.7 *Public open spaces universally accessible and designed to cater for a range of active and passive recreational uses.*

*Are public open spaces universally accessible and designed to cater for a range of active and passive recreational uses (taking account of the function of other spaces within the network)?*

The public open space proposal for the development consists of the upgrade of the zone between the existing and proposed buildings and the carriageway to Sackville Avenue. This zone is effectively level, prioritized for pedestrians and universally accessible. The design caters for passive

use as well as the high level of pedestrian activity that will occur on match days.

10.2.8 *Integrated nature-based solutions for the management of urban drainage*

*Does the plan or development proposal include integrated nature-based solutions for the management of urban drainage to promote biodiversity, urban greening, improved water quality and flood mitigation?*

The proposal complies with the guidelines set out in Greater Dublin Strategic Drainage Study (GSDSDS) and the CIRIA 2015 SuDS Manual. The aim of the SuDS strategy is to ensure that the development does not negatively affect surrounding watercourse systems, existing surface water networks and groundwater systems. The SuDS strategy will achieve these aims by using a variety of SuDS measures within the site. These measures include water interception, treatment, infiltration and attenuation through green roofs, permeable paving, tree pits and bioretention rain gardens.

**10.3 Responsive Built Form**

10.3.1 *Coherent and legible urban structure in terms of block layouts and building heights.*

*Does the layout, orientation and scale of development support the formation of a coherent and legible urban structure in terms of block layouts and building heights with particular regard to the location of gateways and landmarks, the hierarchy of streets and spaces and access to daylight and sunlight?*

The SDRA requirements for a density in excess of 100uph will result in a significantly denser development than that of adjacent housing. This will in turn result in a proposed residential building of increased scale and density. This should be seen as an opportunity, as variety in building height is an important component in helping to achieve a sense of place and create an attractive built environment.

The proposed buildings must be considered against the scale not just of the adjoining 2 storey over basement dwellings but also the immediate context of the GAA Handball alley (13-19m) and the Cusack Stand of Croke Park (38-42m) The building forms, massing and heights are aligned with the previously permitted Part 8 application. Block A addressing the expanse of the railway line and canal is 5 storeys, while Block B to Sackville Avenue is reduced to 4 storeys. Both buildings have a predominant pitched sawtooth roof profiles enclosing plant, equipment and water storage, with flat roofs to the end returns facilitating the provision of PV panels. The pitched roof forms resonate with the adjoining dwellings and provide a rhythm and variety to the massing.

10.3.2 *Buildings address streets and spaces*

*Do buildings address streets and spaces in a manner that will ensure they clearly define public and private spaces, generate activity, maximise passive surveillance and provide an attractive and animated interface?*

The proposed scheme will create a new urban street edge along Sackville Avenue, Sackville Gardens and Ardilaun Road. Block A is primarily facing the new pedestrian/cycle link between Ardilaun Square and Sackville Gardens, returning at its northern end to meet the handball alley and complete the building line. Block B addresses Sackville Avenue returning at its southern end to from a street edge to the existing laneway.

The Community/Cultural/Arts facility is provided in two multi-functional spaces on the southeast ground floor corner of Block B. This location, close to Ballybough Road on the approach to Croke Park ensures prominence and ease of access for the facility.

10.3.3 *Layout, scale and design features of new development respond to prevailing development patterns (where relevant)*

*Does the layout, scale and design features of new development respond to prevailing development patterns (where relevant), integrate well within its context and provide appropriate transitions with adjacent buildings and established communities so as to safeguard their amenities to a reasonable extent?*

The proposed residential development closely follows the Part 8 permission (Ref: 3857/17) with two L- shaped apartments blocks, A and B, forming a strong new edge along Sackville Avenue and creating a new link between Sackville Gardens and Ardilaun Square in accordance with SDRA 10 requirements. The buildings enclose a secure landscaped courtyard for the residents accessed through the stair cores with maintenance access provided from the existing laneway off Sackville Avenue to the southeast. The central courtyard acts as the communal open space that serves development users and includes the play spaces. The primary façades align with the GAA handball alley and the existing dwellings on Sackville Gardens. The building footprints are reduced from the existing Part 8 grant, aligning the northwest façade of Block A with the handball alley and allowing for surface car parking at the ends of both blocks. The public, communal, and private realms are all very clearly defined within the proposed development. This has largely been achieved by using the building to clearly define the boundaries between each. Where this is not possible (such as where the private spaces of ground floor terraces meet the central communal space, buffer planting and fencing are proposed to define boundaries and ensure privacy is maintained.

10.3.4 *Coherent architectural and urban design strategy*

*Has a coherent architectural and urban design strategy been presented that will ensure the development is sustainable, distinctive, complements the urban structure and promotes a strong sense of identity?*

A coherent architectural design strategy has been delivered with cognisance to the sites surrounding characteristics, which will make a positive contribution to the regeneration and revitalisation of the former Croke Villas Flats site. The completion of the subject development will deliver greater variety in housing tenure and typology to the Ballybough area.

Architecturally, the development aims to be both distinctive and subservient. Within the wider context, the subject development will be distinctive in that, in addition to other adjacent development proposed under the SDRA, it will deliver an increased urban scale as a contrast to the uniform, low rise surroundings. This will help to achieve a sense of place, and aid orientation. The proposal will also complement the completed Handball Alley and the proposed residential units located immediately adjacent to the site. The development will also create a new building form with a distinctive saw tooth roof and street edge along Sackville Gardens, Ardilaun Road and Sackville Avenue. The proposed boulevard and establishment of pedestrian connectivity along Sackville Gardens will benefit from passive surveillance from Block A and B and positively contribute positively to the urban design strategy for the area.



**Appendix.A. ACCESSIBILITY**

**A.1 General**

Dublin City Council Development Plan (2022-2028) advises that a minimum of 50% of apartments are to exceed minimum area standards by 10%, and that in addition, 50% of apartments that are in excess of minimum size requirements are to be designed to be UD compliant. Based on the above requirement, the minimum provision of UD apartments would be 25%. The proposed development has 35% of apartments designed to UD standards.

The UD standards noted are the requirements of the 'Universal Design Guidelines for Homes in Ireland' developed by the Centre for Excellence in Universal Design (National Disability Authority). For all points of approach to individual apartments, universal access has been addressed as follows:

- General approach to building core, apartment entrance or ancillary facilities are in compliance with TGD Part M, with access designed as a gently sloping approach where required. This eliminates any requirement for a stepped approach.
- Accessible car parking spaces are located near main entrance cores.
- All stair cores have been designed as TGD Part M Ambulant Disabled.
- All lifts are TGD Part M compliant.
- All internal corridors have been designed at a minimum 1.2m with 1.8m wide zones, allowing 2 persons to pass easily, and for full TGD part M compliant turning circles.

The Universal Design units consist of:

- Apartment Type 2B4P-27
- Apartment Type 2B4P-28
- Apartment Type 2B4P-29
- Apartment Type 2B4P-30

The criteria addressing the design of the internal unit layout are summarised as shown below:

**Kitchen/ Dining/ Living Room**

- Large and flexible room with ample unobstructed space to access all areas for everyone with ease of movement through the kitchen
- Minimum 800mm wide clear route between furniture and in front of windows and routes between doors
- 1200mm clear space on three consecutive sides of a table
- Kitchen is not a thoroughfare. Cooker / hob and sink are in the same run of worktop.
- The kitchen space located next to the dining area to ease access for carrying food and crockery.
- Large and accessible bathroom door opens outwards, with level access shower
- Clear access space of 800mm on both sides and at the end of the double bed.
- Provide a clear space for a turning circle of 1500mm
- Doors open into rooms (such as living rooms, bedrooms and kitchens) with hinge-side of the door is adjacent to a return wall and approx. 300mm clear space on the leading edge of doors
- Entrance door with a clear width of circa 1000mm; with 1200 mm x 1200 mm clear landing.
- Level access to the front and rear doors.

The potential use of power operated units on accessible entrance doors or gates for TGD Part M compliance will be determined at a later detailed design stage.

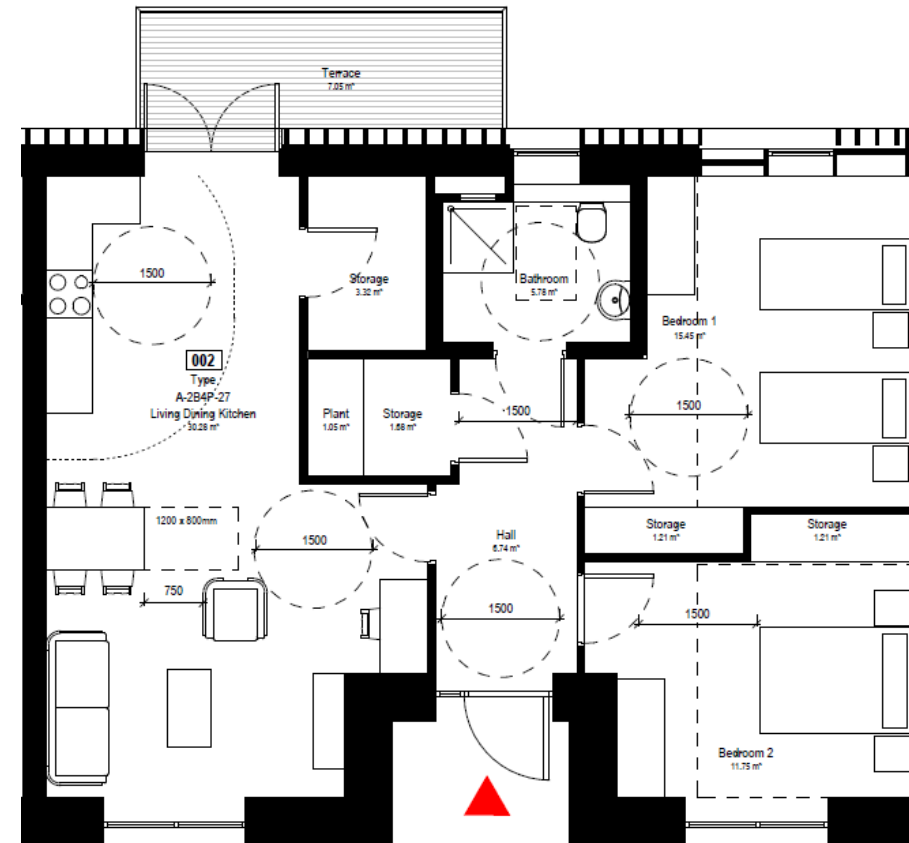


Figure 54: Apartment Type 2B4P-27

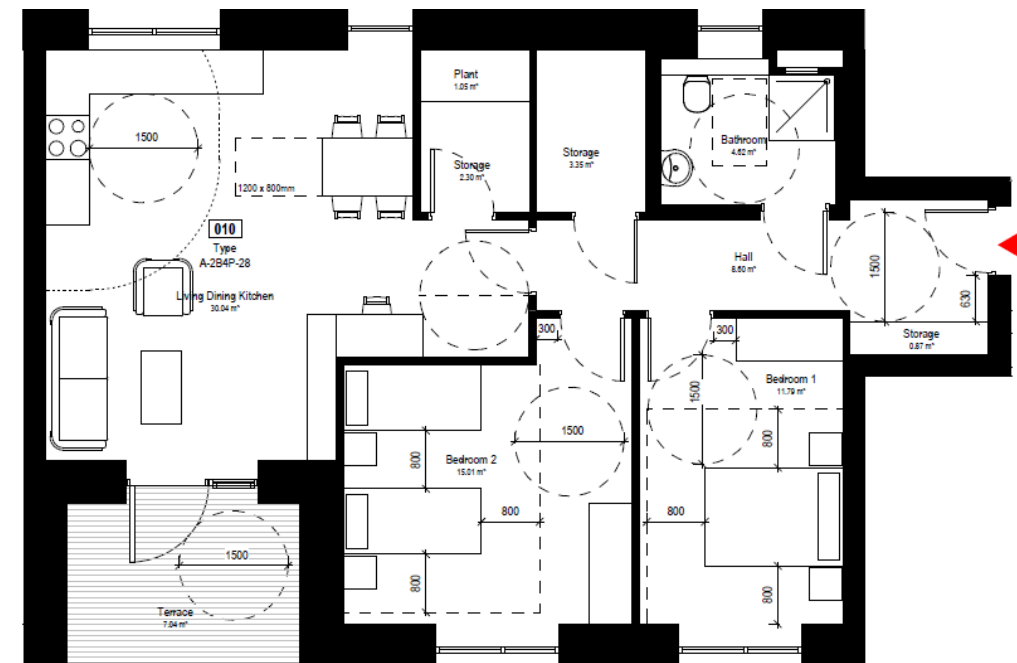


Figure 55: Apartment Type 2B4P-28



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