

OUTLINE SPECIFICATION

Existing buildings, with the exception of the front & side external walls, to be demolished. Existing elevation features to be retained and wall repaired.

New pitched roof to comprise blue/black slate to match existing, on timber battens on felt on insulated timber roof structure.

New flat roof to comprise roof membrane over insulation on deck and timber joists. All ceilings to be insulated and finished with foil-backed plasterboard.

All existing fascias, soffits and rainwatergoods to be replaced with aluminium fascias & soffits and half round pvc gutters and downpipes.

New ground floor to consist of cast in situ concrete slab over rigid floor insulation on radon barrier, sand blinding and well compacted hardcore.

New external walls to rear to be cavity wall construction with rigid insulation. Blockwork external leaf to be rendered and painted to a selected colour. Internal leaf to be plastered and painted. All load bearing walls supported on foundations to Engineer's design.

All front external doors will be hardwood painted to select colour. Windows to front will be timber sliding sash and windows to rear will be uPVC with precast concrete / or existing stone cills on front elevation. All glazing to be low emissivity K glass to comply with TGD Part L Building 2019.

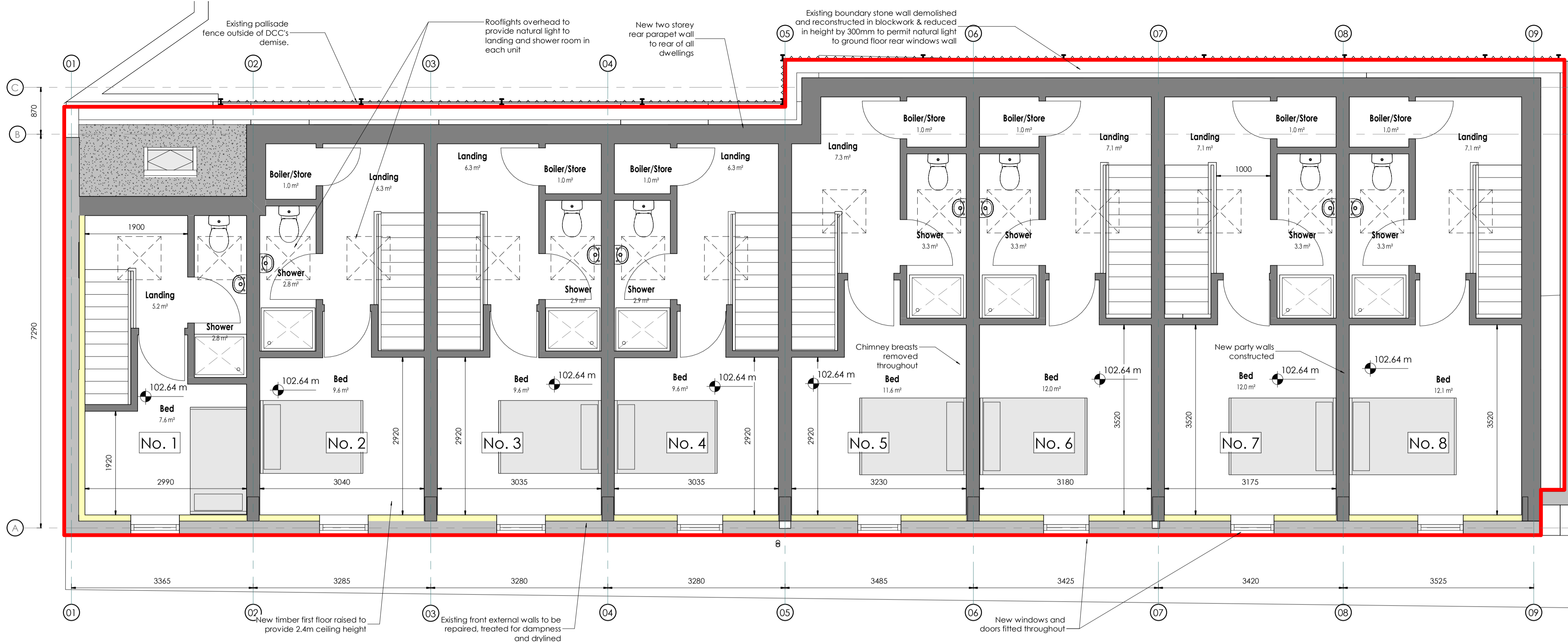
Storm drainage to be 100 diameter wavin laid to 1:150 minimum fall. Surface drainage to discharge to public system. Foul Drainage laid to 1:60 approx fall to discharge to existing public sewer.

Existing front elevations are to be retained & repaired

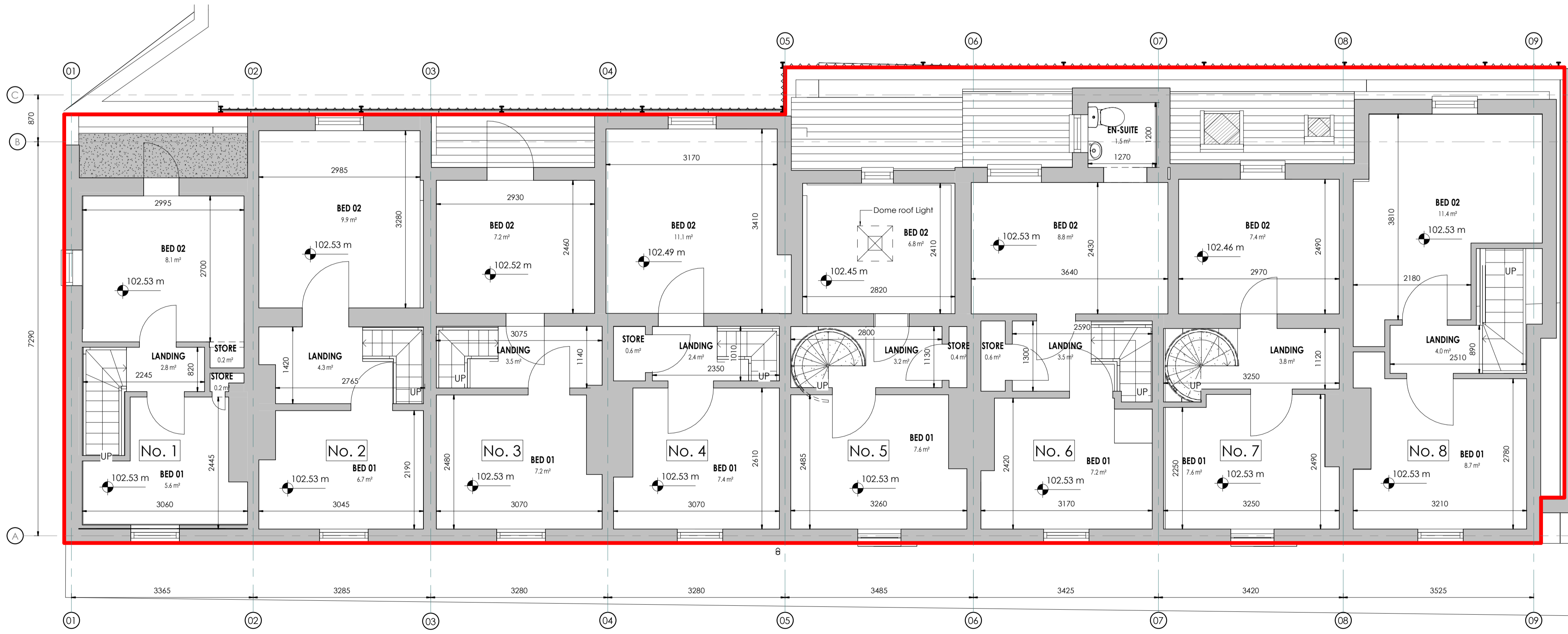
AREAS (Existing)			AREAS (Proposed)		
Dwelling	Level	Area	Dwelling	Level	Area
House 01	GFL	18.4 m <sup>2</sup>	House 01	GFL	19.9 m <sup>2</sup>
	EXISTING FFL	16.9 m <sup>2</sup>		PROPOSED FFL	15.5 m <sup>2</sup>
		35.3 m <sup>2</sup>			
House 02	GFL	20.8 m <sup>2</sup>	House 02	GFL	20.1 m <sup>2</sup>
	EXISTING FFL	20.9 m <sup>2</sup>		PROPOSED FFL	19.7 m <sup>2</sup>
		41.7 m <sup>2</sup>			
House 03	GFL	20.0 m <sup>2</sup>	House 03	GFL	20.3 m <sup>2</sup>
	EXISTING FFL	17.9 m <sup>2</sup>		PROPOSED FFL	19.7 m <sup>2</sup>
		37.9 m <sup>2</sup>			
House 04	GFL	20.7 m <sup>2</sup>	House 04	GFL	20.3 m <sup>2</sup>
	EXISTING FFL	21.5 m <sup>2</sup>		PROPOSED FFL	19.8 m <sup>2</sup>
		42.2 m <sup>2</sup>			
House 05	GFL	21.1 m <sup>2</sup>	House 05	GFL	24.0 m <sup>2</sup>
	EXISTING FFL	18.0 m <sup>2</sup>		PROPOSED FFL	23.3 m <sup>2</sup>
		39.1 m <sup>2</sup>			
House 06	GFL	22.6 m <sup>2</sup>	House 06	GFL	24.1 m <sup>2</sup>
	EXISTING FFL	21.6 m <sup>2</sup>		PROPOSED FFL	23.5 m <sup>2</sup>
		44.2 m <sup>2</sup>			
House 07	GFL	22.5 m <sup>2</sup>	House 07	GFL	24.0 m <sup>2</sup>
	EXISTING FFL	18.8 m <sup>2</sup>		PROPOSED FFL	23.4 m <sup>2</sup>
		41.3 m <sup>2</sup>			
House 08	GFL	23.4 m <sup>2</sup>	House 08	GFL	24.1 m <sup>2</sup>
	EXISTING FFL	24.1 m <sup>2</sup>		PROPOSED FFL	23.5 m <sup>2</sup>
		47.5 m <sup>2</sup>			

ACCOMMODATION SCHEDULE

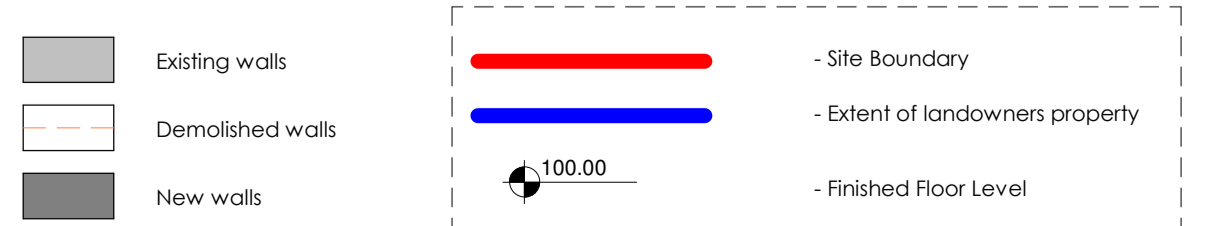
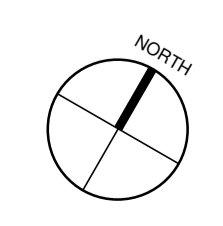
ROOM NO.	ROOM NAME	Area	Required Area	Dwelling Type
House 01				
101	Living / Kitchen	18.7 m <sup>2</sup>	23m <sup>2</sup>	
102	Storage	1.3 m <sup>2</sup>	2m <sup>2</sup> total	
103	Landing	5.2 m <sup>2</sup>	n/a	
104	Shower	2.8 m <sup>2</sup>	n/a	
105	Bed	7.6 m <sup>2</sup>	7.1m <sup>2</sup>	1Bed/1Person
House 02				
201	Living / Kitchen	19.1 m <sup>2</sup>	23m <sup>2</sup>	
202	Storage	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
203	Boiler/Store	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
204	Landing	6.3 m <sup>2</sup>	n/a	
205	Shower	2.8 m <sup>2</sup>	n/a	
206	Bed	9.6 m <sup>2</sup>	11m <sup>2</sup>	1Bed/1Person
House 03				
301	Living / Kitchen	19.3 m <sup>2</sup>	23m <sup>2</sup>	
302	Storage	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
303	Boiler/Store	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
304	Landing	6.3 m <sup>2</sup>	n/a	
305	Shower	2.9 m <sup>2</sup>	n/a	
306	Bed	9.6 m <sup>2</sup>	11m <sup>2</sup>	1Bed/1Person
House 04				
401	Living / Kitchen	19.3 m <sup>2</sup>	23m <sup>2</sup>	
402	Storage	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
403	Boiler/Store	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
404	Landing	6.3 m <sup>2</sup>	n/a	
405	Shower	2.9 m <sup>2</sup>	n/a	
406	Bed	9.6 m <sup>2</sup>	11m <sup>2</sup>	1Bed/1Person
House 05				
501	Living / Kitchen	23.0 m <sup>2</sup>	23m <sup>2</sup>	
502	Storage	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
503	Boiler/Store	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
504	Landing	7.3 m <sup>2</sup>	n/a	
505	Shower	3.3 m <sup>2</sup>	n/a	
506	Bed	11.6 m <sup>2</sup>	11m <sup>2</sup>	1Bed/2Person
House 06				
601	Living / Kitchen	23.0 m <sup>2</sup>	23m <sup>2</sup>	
602	Storage	1.1 m <sup>2</sup>	2m <sup>2</sup> total	
603	Boiler/Store	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
604	Landing	7.1 m <sup>2</sup>	n/a	
605	Shower	3.3 m <sup>2</sup>	n/a	
606	Bed	12.0 m <sup>2</sup>	11m <sup>2</sup>	1Bed/2Person
House 07				
701	Living / Kitchen	23.0 m <sup>2</sup>	23m <sup>2</sup>	
702	Storage	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
703	Boiler/Store	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
704	Landing	7.1 m <sup>2</sup>	n/a	
705	Shower	3.3 m <sup>2</sup>	n/a	
706	Bed	12.0 m <sup>2</sup>	11m <sup>2</sup>	1Bed/2Person
House 08				
801	Living / Kitchen	23.1 m <sup>2</sup>	23m <sup>2</sup>	
802	Storage	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
803	Boiler/Store	1.0 m <sup>2</sup>	2m <sup>2</sup> total	
804	Landing	7.1 m <sup>2</sup>	n/a	
805	Shower	3.3 m <sup>2</sup>	n/a	
806	Bed	12.1 m <sup>2</sup>	11m <sup>2</sup>	1Bed/2Person



PROPOSED FIRST FLOOR 1:50



EXISTING FIRST FLOOR 1:50



STANDARD INSTRUCTIONS

1 THE MAIN CONTRACTOR, SUB-CRONTACTOR OR SUPPLIER SHALL: VERIFY ALL DIMENSIONS ON SITE AND IMMEDIATELY REPORT TO THE ARCHITECT ANY DISCREPANCIES ON THE DRAWINGS. WORK TO FIGURED DIMENSIONS ONLY (EXCEPT WHERE FULL SIZE DETAILS ARE PROVIDED). NOT VARY ANY WORK SHOWN ON THE DRAWINGS WITHOUT OBTAINING PRIOR APPROVAL FROM THE ARCHITECT. BE RESPONSIBLE FOR REQUESTING FROM THE ARCHITECT ANY ADDITIONAL INFORMATION REQUIRED. SUPPLY TO THE ARCHITECT ALL SHOP DRAWINGS, ILLUSTRATIONS, SPECIFICATIONS, ETC. OF ALL SPECIALIST WORK TO BE INCORPORATED IN THE MAIN CONTRACT WORKS.

2 IMMEDIATELY ADVISE THE ARCHITECT IF ANY WORK SHOWN ON THIS DRAWING IS NOT IN ACCORDANCE WITH THE RELEVANT CODES OF PRACTICE RECOGNISED GOOD PRACTICE THROUGHOUT THE INDUSTRY AND DOES NOT COMPLY WITH THE RELEVANT LOCAL AUTHORITY BY-LAWS OR BUILDING REGULATIONS. IMMEDIATELY ADVISE THE ARCHITECT / QUANTITY SURVEYOR OF THE EFFECT UPON PROGRAMME AND COST OF ANY ALTERATIONS TO THE PROPOSED WORKS SHOWN ON THIS DRAWING. THIS DRAWING SUPERSEDES ALL PREVIOUS ISSUES OF THE SAME DRAWING NUMBER WITH EARLIER REVISIONS. THIS DRAWING IS COPYRIGHT TO KENNETH HENNESSY ARCHITECTS LTD. AND THE CONTENTS MUST NOT BE DISCLOSED TO ANYONE WITHOUT PRIOR AGREEMENT.

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REVISION REGISTER

REV	DATE	DESCRIPTION	MC DRAWN	MC CHECKED	KH APPROVED
01	26/09/2022	First Issue			

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 KENNETH HENNESSY  
 ARCHITECTS

CLIENT: DUBLIN CITY COUNCIL  
 PROJECT: Renovation of No's 1-8 Tyrrell Place, Dublin 1  
 DRAWING TITLE: EXISTING / PROPOSED FIRST FLOOR PLAN  
 DRAWING NUMBER: 2129 KHA ZZ XX DR A P 1110 S01 P 01  
 STATUS: PLANNING