

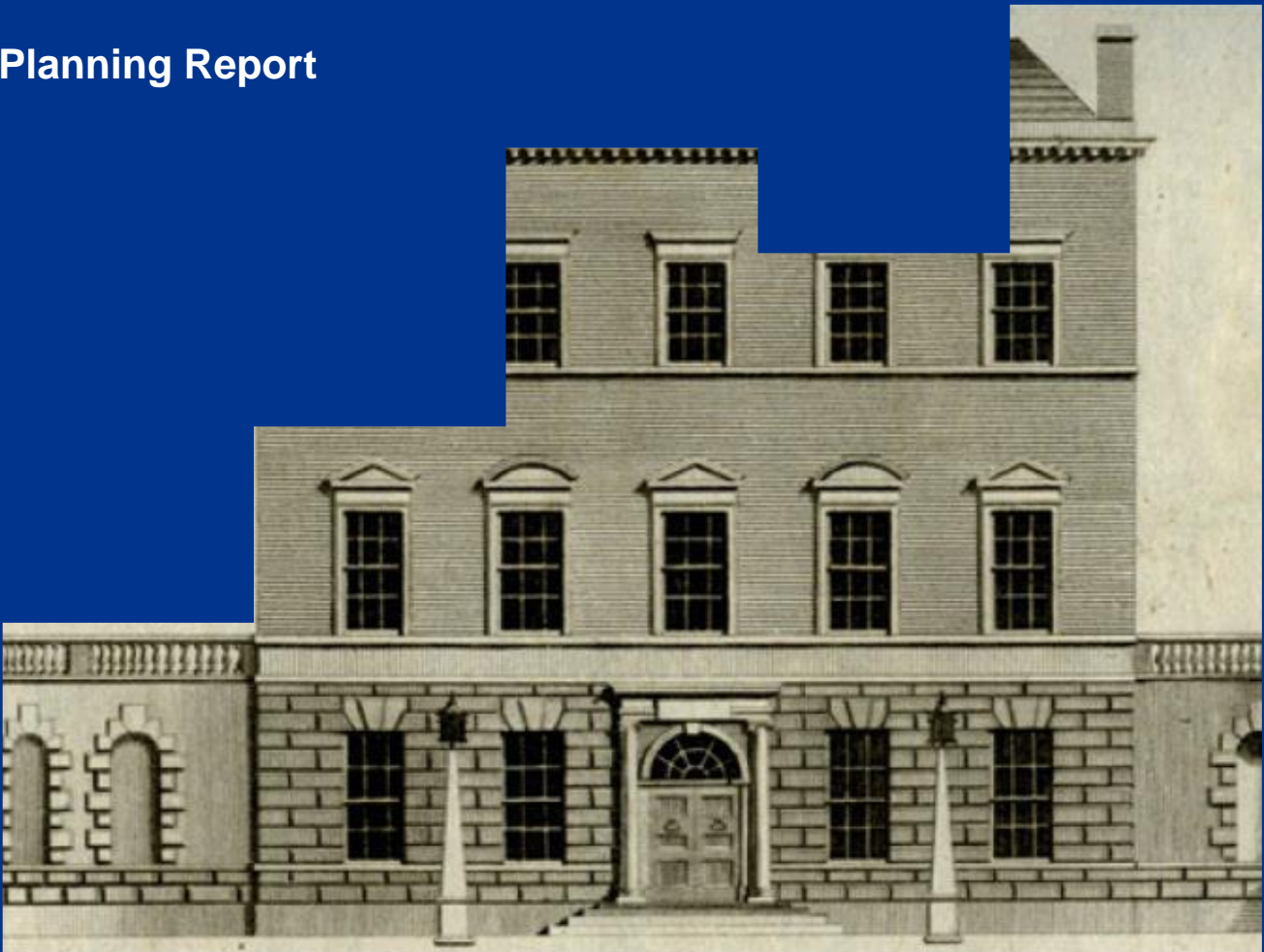


 Future Analytics

Application for Alterations to Approved Part 8 Development at Hugh Lane Gallery

March 2024

Planning Report



Document review and approval

Revision history

Version	Author	Date	Revision
1	MR	17/11/23	1
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1.0 Introduction

1.1 Overview

This Planning Report has been prepared by KPMG Future Analytics (KPMG FA) of 1 Stokes Place, Stephen's Green, Dublin 2 on behalf of the **Culture Recreation and Economics Department (the proposing Department) of Dublin City Council** in respect of a Part 8 Planning Application for Amendments to a Previously Consented Part 8 (Ref 3196/19) for works at Hugh Lane Gallery, Charlemont House, Parnell Square N, Rotunda, Dublin 1.

This application proposes a series of amendments to the works consented under the 2019 Part 8 permission (Reg. Ref: 3196/19) which include, in summary form, the making of a physical connection between the Hugh Lane Gallery and the proposed New Library, internal alterations to the building to improve circulation and movement throughout, environmental performance and exhibition standards, and the relocation of the permitted Energy Centre from the Hugh Lane Gallery into the combined Energy Centre for the overall Parnell Cultural Quarter.

This application is made in accordance with the requirements of Part 8 of the Planning and Development Regulations, 2001 (as amended). The subject building is a protected structure and has been deemed to be of national importance by the National Inventory of Architectural Heritage.

1.2 Statutory Description

As per the statutory notices, the Proposed Development to which this application relates is described as follows:

Dublin City Council

Planning and Development Act 2000 (as amended)

Planning and Development Regulations 2001 (as amended) – Part 8

Applicant: Department of Culture, Recreation and Economics

Location: Hugh Lane Gallery, Parnell Square Dublin 1, a protected structure

Proposal: Pursuant to the requirements of the above, notice is hereby given of the proposed amendment of approved Part 8 Application under Reg. Ref. 3196/19 to facilitate necessary upgrades and alterations to Hugh Lane Gallery, a Protected Structure (RPS no. 6382). Dublin City Council has proposed the construction of a new link connecting the Hugh Lane Gallery and New Library, and the relocation of the Energy Centre for the Hugh Lane Gallery into the combined Energy Centre for the overall Parnell Cultural Quarter. The proposed amendments to the permitted scheme involve omission of previously approved acoustic enclosure to plant at roof level of Francis Beacon Studio and relocation of plant area to New Parnell Library. Proposed variations to the consented scheme will also involve the formation of a new roof area to rear of east curved wing as a means of environmentally controlled staff access and extension of service outlets above. Additional works to which this application relates are described on a level-by-level basis as follows:

Basement Level:

Removal of two no. windows previously facing the service alley to the south of the 1930's Wing above the basement and associated slab/wall removal to facilitate the extension of basement male and female bathrooms to meet WC provision requirements and adapt ceilings of basement rooms below new link to accommodate construction.

Ground Floor Level:

The construction of a new link connection between the New Library and the former Harry Clark room (now referred to as Link Lobby) and associated circulation space. The proposed works to facilitate the

connection also include the removal and alteration to existing Male, Female and Accessible WCs including internal partitions, tiling and fittings and replacement with new built bathrooms and associated services. Alteration to existing openings and doorways to facilitate the creation of new window and door openings to facilitate improved access and connectivity between the reception room and the 2006 wing.

Roof Level:

Extension of consented roof over Lobby 2 space and relocate services to new roof level and installation of new roofing membrane above the proposed new link and a small section of the 1930s wing roof. Alteration to permitted plant under Reg Ref: 3196/19 as described above.

Planning permission is also sought for all associated site and development works to facilitate the implementation of the permission.

Plans and particulars of the proposed development may be inspected or purchased at a fee not exceeding the reasonable cost of making a copy for a period of 4 weeks from XXX during public opening hours at the offices of Dublin City Council, Public Counter, Planning and Property Development Department, Block 4, Ground Floor, Civic Offices, Wood Quay, Dublin 8, Monday to Friday between the hours of 9.00am and 4.30pm. The plans and particulars are available to view online on Citizen Space <https://consultation.dublincity.ie> and at Hugh Lane Gallery, Parnell Square, Dublin 1, during their public opening hours.

The Local Authority has concluded following a preliminary examination that there is no real likelihood of the proposed development having significant effects on the environment and therefore an EIA is not required. An Appropriate Assessment Screening has been undertaken in accordance with Habitats Directive (92/43/EEC) and concludes that the proposed amendments, individually or in combination with other plans or projects would not be likely to have a significant effect on any European sites, and as such a Stage 2 Appropriate Assessment (and submission of a NIS) is not required.

A submission or observation in relation to the proposed development, dealing with the proper planning and sustainable development of the area in which the development would be situated, may be made in writing to the Executive Manager, Planning and Property Development Department, Dublin City Council, Civic Offices, Wood Quay, Dublin 8 before 4.30pm on XXX. Submissions or observations may also be made online on Citizen Space <https://consultation.dublincity.ie> before 23.59hrs on XXX.

1.3 Supporting Documentation

This Report is accompanied by, and should be read in conjunction with, the following drawings and technical reports and documentation as noted in Table 1-1 which have been prepared by members of the design team, as stated:

Table 1-1: Supporting Documentation

Planning Application Requirements	
DOCUMENT TITLE	AUTHOR
PLANNING PARTICULARS	
Cover Letter	KPMG FA
Site Notice	KPMG FA
Newspaper Notice	KPMG FA
DRAWINGS	
Site Location Plan (@1:1000/2500)	Hawkins Brown
Site Layout Plan (@1:500)	Hawkins Brown
Architects Drawings (Floor Plans, Elevations, Sections, Boundary Treatments, Bin Stores etc)	Hawkins Brown
Engineering Drawings: Civil & Structural	AECOM

Engineering Drawings: Mechanical & Electrical	AECOM
REPORTS	
Planning Report	KPMG FA
Architectural Heritage Impact Statement	Carrig Conservation
AA Screening Report	Altemar
Engineering Services Report	AECOM
Noise/Acoustics Report	AWN Consulting
Construction and Environmental Management Plan	AECOM

1.4 Part 8 Procedures

As stated, this application is made in compliance with the requirements of Part 8 of the Planning and Development Regulations, 2001 (as amended). In making this application, regard has also been had to the 'Local Authority Works – Part 8 – Procedure' Guidelines published by the Planning and Property Development Department of DCC in December 2017.

The Guidelines recommend a number of pre-part 8 procedures to be followed including liaison with the Planning and Property Development Department of the contents of the Part 8 application and other relevant departments of DCC and advance notification to be given to the relevant Area Committee that a Part 8 application is forthcoming.

1.5 Pre-Planning Consultation

A Report was presented to the Central Area Committee prior to the lodgement of this planning application for development on lands located within the Committee's district. The purpose of the consultation was to set out clearly to the Committee the proposed amendments to the consented development being sought and the rationale for same. The Committee were advised that this application would regularise changes required to the consented scheme namely the creation of a link between Hugh Lane Gallery and the proposed New Library. The resultant synergies that would arise from the amalgamation of the Gallery into the wider Parnell Square Cultural Quarter through this dedicated connection were also highlighted.

A timeline of next steps, including the Part 8 process and the intention to formally lodge the application in December 2023, was set out to the Committee. An opportunity for comments and the incorporation of feedback received into the final design of the proposed scheme also provided.

In alignment with DCC's Procedure for Part 8 applications, a pre-planning pack was circulated to the Planning and Property Development Departments in November 2023 and to other relevant departments. Detailed feedback on the proposed amendments to the consented scheme was offered by the Conservation Officer in DCC, the Transportation Department, Drainage Department, the City Architecture and well as Engineers from DCC.

It is submitted that, where relevant, all comments received have been duly addressed by the Project / Design Team and accordingly incorporated into the proposal.

This report incorporates the following aspects:

- A description of the site location and context including an overview of the planning history of the site and surroundings lands (where applicable)
- An overview of the planning policy and guidance
- A description of the proposed alterations, a summary of assessments undertaken and works proposed to be carried out for the purpose of this proposal.

2.0 Subject Site

2.1 Site Location

The subject site comprising the Hugh Lane Gallery forms part of the Parnell Cultural Quarter, Charlemont House, Parnell Square N, Rotunda, Dublin 1. Parnell Square is situated at the northern end of city centre civic spine that extends through O'Connell Street, College Green and onto Christchurch. The square was developed around the Rotunda Hospital and is the oldest of the five Georgian Squares that were constructed in Dublin between 1750 and 1830.



Figure 1 Aerial View of Site Location (Source: Google Maps)

2.2 Site Description and Context

The Hugh Lane Gallery, originally the Municipal Gallery of Modern Art, is an art museum operated by Dublin City Council and its subsidiary, the Hugh Lane Gallery Trust. It is located at Charlemont House on Parnell Square, Dublin, Ireland. The building is a Protected Structure (RPS No. 6384 , 22 Parnell Square North Dublin 1 Hugh Lane Gallery (Charlemont House). The subject site also forms part of a Conservation Area with designated zoning objective Z8: Georgian Conservation Areas.

The Hugh Lane Gallery hosts a permanent collection and runs a wide ranging and alternating programme of exhibitions, educational programmes, events and lectures. The Gallery is of national significance as a cultural facility, as recognised in the Dublin City Development Plan 2022-2028 and greatly contributes to Dublin's cultural vibrancy and its international reputation as an important arts and cultural destination. The Gallery has a major role in achieving the vision for the Parnell Cultural Quarter and its immediate adjacency and connectivity with the consented New City Library will reinforce its position at the heart of this vibrant and historical part of the city. The proposed enhancements now sought will contribute to achieving Policy CU9 of the Development Plan on promoting and supporting the growth of Parnell Square as a cultural cluster, as set out below.

It is the Policy of Dublin City Council:	
CU9	<p>Parnell Square and North Inner City Cultural Cluster</p> <p>To promote and support the growth of the Parnell Square and North Inner City cultural cluster to facilitate opportunities that provide benefits both to the wider City and to the economic growth and regeneration for the NEIC that supports artists, mitigates social exclusion and increases opportunities for expression and artistic engagement for the diverse local community and in particular, young people.</p>

The gallery is spread across four key areas, as follow:

- Charlemont House:** The original Georgian townhouse, Charlemont House, is a stone-faced, five-bay, three-story over basement house, built circa 1765-1770 and designed by Sir William Chambers. Two original library pavilions, one adjoining the main house on the west, by James Gandon and one to the rear on the east were incorporated into 1930’s wing. The western pavilion was truncated removing ornate plasterwork and clerestory lights when the gallery was created in 1928. The eastern library pavilion, with its original Doric cornice and early Rococo ceiling designed by Sir William Chambers, has been incorporated into the gallery and now forms part of the Francis Bacon Studio exhibit.
- The 1930’s Wing:** 19th Century additions to the rear of Charlemont House, were demolished to make way for the Municipal Gallery of Modern Art in Parnell Square, to the designs of Horace T. O’Rourke, city architect in 1931. This phase also altered and enlarged the original entrance hall arrangement to its current presentation. The front portico and steps at the main entrance were also added at this time.
- Francis Bacon’s Studio:** Created in 2000 this part of the Gallery accommodates reconstruction of Francis Bacon’s studio and includes a suite of exhibition spaces and archive. It is located to the rear of the 1930’s wing and incorporates part of the Chambers’ library.
- The New Wing and Basement Archives:** Completed in 2003, this new three storey over basement building is located to the east of the 1930’s wings and incorporates exhibition galleries including a dedicated exhibition space for the Sean Scully collection, education workshop room, archival space; café, bookshop and ancillary spaces. This extension also contains significant mechanical plant serving this recent wing.

2.3 Planning History

2.3.1 Site Planning History

The planning history pertaining to the Subject Site is summarised in Table 2-1 below.

Table 2-1: Site Planning History.

Site Planning History		
Reg Ref	Development Description	Decision
<p>2019</p> <p>DCC Reg Ref. 3196/19 (Art Gallery):</p>	<p>On 07 October 2019, DCC granted Part 8 permission upgrading works at the Dublin City Gallery including, Roof works, installation of environmental services in the 1930s Wing and associated Building</p>	<p>Grant</p>

	Services Management System, new Mechanical ductwork at roof level, and the Installation of a new gallery lighting system in the 1930s Wing.	
2002 DCC Reg. Ref. 1429/02	<p>On 07 October 2002, DCC granted permission for development at the Hugh Lane Municipal Gallery of Modern Art. All 3 buildings are protected structures. The development included:</p> <ul style="list-style-type: none"> – The demolition of the former Banba Hall/National Ballroom and 2 no. two storey over basement returns all to the rear of nos. 20/21 Parnell Square North and the existing 3 storey over basement annexe abutting the north east gable elevation of Charlemont House. – The erection of a 2/3 storey over part basement extension to the Hugh Lane Municipal Gallery of – The restoration and conservation of nos.20 and 21 Parnell Square North for office use – The change of use of the ground and basement floors of Nos. 20 and 21 Parnell Square North from Dance Hall to office use and other ancillary works. 	Grant
1996 DCC Reg. 1517/96	<p>Refurbishment of two listed Georgian buildings, 4 storey over basement, gross floor area 1452 metres sq. with accommodation for exhibition spaces, toilets and refreshment facilities. The demolition of the existing rear structure (formally the National Ballroom). The construction of a new structure to a two storey equivalent height (approx. 11m) at the rear forming a 200 seat theatre, gross floor area 677 sq. metres and a separate two storey art gallery extension, gross floor area 870 sq. metres, with access from the adjoining Hugh Lane Municipal Gallery of Modern Art (Charlemont House).</p>	Grant

2.3.2 Adjacent Lands

- **ABP Ref. 302881:** On 01 May 2019, An Bord Pleanála granted permission to DCC (PART 10 /Section 175) for a new Dublin City Library and associated public realm and site works. The development consisted of;
 - A change of use and adaptive reuse of no's. 20-21 and no's. 23-28 Parnell Square North (all protected structures) to new central library cultural uses and a restaurant at ground floor level of no. 28.
 - Construction of a new 5-storey over basement extension to the rear of no's. 23-28 to include demolition of existing Amharclann building, single storey atrium and 2-storey rear return..
 - The mix of new library spaces will include the main lending and reference library; a children's and young adults' library; a story house (literature centre); conference and

- exhibition spaces; a learning suite (digital media hub and online learning centre); a music hub; and innovation hub.
- Provision of a new public realm area to include widening of footpaths; removal of 47 no. car parking spaces; reconfiguration and narrowing of roadway maintaining 2 no. one-way east-bound carriageways; provision of raised table crossings at eastern and western ends and in the centre of the public realm area and repaving of entrance to Garden of Remembrance.
 - Provision of rear pedestrian access to library and vehicular access to new service yard from Bethesda Place and Frederick Lane North.

The development was granted subject to 7 no. conditions including;

2. The proposed development shall be amended as follows:

*(a) Parnell Square North shall be treated as a **shared surface**.*

(b) Vehicular entry to Parnell Square North from Parnell Square West shall be reduced from two lanes to one lane, and may provide facility for bus and coach drop off/pick up on the eastern part of Parnell Square North.

(c) A segregated two-way cycle way shall be provided.

(d) The pedestrian crossing at Granby Row on Parnell Square West shall be relocated in a southerly direction to align with the widened footpath in front of the proposed Library; and

7. The developer shall facilitate the preservation, recording and protection of archaeological materials or features which exist within the site and these details shall be placed on the file and retained as part of the public record. The developer shall also comply with the following requirements:

(a) satisfactory arrangements shall be put in place for the execution (or supervision) by a suitably qualified archaeologist of all archaeological excavations, investigations and site development works.

(b) The archaeologist shall advise on such measures as may be necessary to ensure that any damage to the remaining archaeological material is avoided or minimised. In this regard, the proposed locations of piled foundations, shall be the subject of continuing review and full details of any revisions to the proposed location or levels of pipe caps, ground beams, service trenches or other subsurface works shall be placed on the file and retained as part of the public record.

(c) Satisfactory arrangements for post-excavation research and the recording, removal and storage, of any archaeological remains which may be considered appropriate to remove, shall be placed on the file and retained as part of the public record. In this regard, a comprehensive report on the completed archaeological excavation shall be prepared within a period of six months or within such extended period as may be agreed with the planning authority.

Permission expires: Permission expiry date assumed 01 May 2024 based on a 5-year permission. Note: No specific duration is assigned under legislation and the duration has not been specified on this permission.

- **DCC Reg. Ref. 1661/98:** DCC issued a Final Grant of Permission on 26 August 1998 for a development comprising the demolition of a 2 storey over part basement science building at rear of 23 Parnell Square North.

One of the conditions imposed related to the treatment of the party wall with the Hugh Lane Gallery, requiring that treatment of the retained wall to be such as to protect against any future moisture penetration to the Hugh Lane Municipal Gallery with details of the proposed treatment to be submitted to the Planning Authority for their written agreement prior to commencement of development.

The planning history pertaining to the subject site and the immediate environs illustrates the potential for Parnell Square North to develop as a destination where a range of cultural activities and facilities are co-located to give a special character to the area and create a cultural focal point with the broader city centre context. In granting planning permission for the new Dublin City Library, An Bord Pleanála recognised the benefits and synergies between delivering new cultural uses through the revitalisation of heritage assets and the positive contribution this can make towards sustainable place-making. The proposed development will actively improve the connection between Hugh Lane Gallery and the City Library and integrate seamlessly within this city centre cultural quarter.

3.0 Planning Policy Context

An overview of planning policy pertinent to the subject site and proposed amendments is provided below.

3.1 Architectural Heritage Protection: Guidelines for Planning Authorities (2011)

These Guidelines set out advice and recommendations relating to the protection of structures and the preservation of the character of architectural conservation areas. Guidance is also offered on determining planning applications that affect protected structures and the framing of conditions in a planning permission.

Extensions, material change of use and demolition are some of the general types of development under which advice is contained. In this regard, it is stated that it may be appropriate to permit appropriate new extensions to protected structures to keep them in viable economic use. It is also recognised with respect to material change of use that the best way to prolong the life of a protected structure is to keep it in active use. Where partial demolition of a protected structure is proposed, the applicant shall demonstrate that this part of the building does not contribute to the special interest of the whole, or that demolition is essential and will allow for the proper conservation of the whole structure.

The proposed amendments to the parent permission have been sensitively considered to ensure that the integrity and heritage of the protected structure are preserved. The alterations to the building are necessary to improve connectivity between Hugh Lane Gallery and the New Library and will have limited visual impact on the exterior of the structure. It is therefore considered that the proposed development is compliant with the Architectural Heritage Protection Guidelines.

3.2 Dublin City Development Plan 2022-2028

The section presents a high-level overview of the relevant policies and objectives set out in the development plan relating to the subject site. The DCDP provides the relevant zoning context and development guidance as set out below:

Land Use Zoning

The site is designated Z8 - Georgian Conservation Area:

'To protect the existing architectural and civic design character, and to allow only for limited expansion consistent with the conservation objective.'

Lands zoned Z8 incorporate the main conservation areas in the city, primarily the Georgian squares and streets. The aim is to protect the architectural character/design and overall setting of such areas while facilitating regeneration, cultural uses and encouraging appropriate residential development. Insensitive or inappropriate backland development in Z8 areas will be strongly discouraged. A range of uses are permitted in such zones, as the aim is to maintain and enhance these areas as active residential streets and squares during the day and at night-time.

- Z8 – Permissible Uses: Assisted living/retirement home, bed and breakfast, café/tearoom, childcare facility, cultural/recreational building and uses, education, embassy residential, embassy office, home-based economic activity, hostel (tourist), hotel, live-work units, medical and related consultants, office, open space, residential, restaurant.
- Z8 – Open for Consideration: Uses Beauty/ grooming services, buildings for the health, safety and welfare of the public, community facility, craft centre/ craft shop, cultural, creative and artistic enterprises and uses, delicatessen, enterprise centre, financial institution, guesthouse, nightclub, place of public worship, public service installation, shop (local), sports facility and recreational uses, student accommodation, veterinary surgery.

The majority of the site is within a designated conservation area, which extends over Parnell Square and O'Connell Street. All 12 buildings along Parnell Square North, including No's. 20 & 21 and 23 – 28 are protected structures. The site is also within a Zone of Archaeological Interest. In Figure 11-2: Dublin's Historic Core of the DCDP Chapter 11, Parnell Square is classed as one of the city's 23 landmarks.

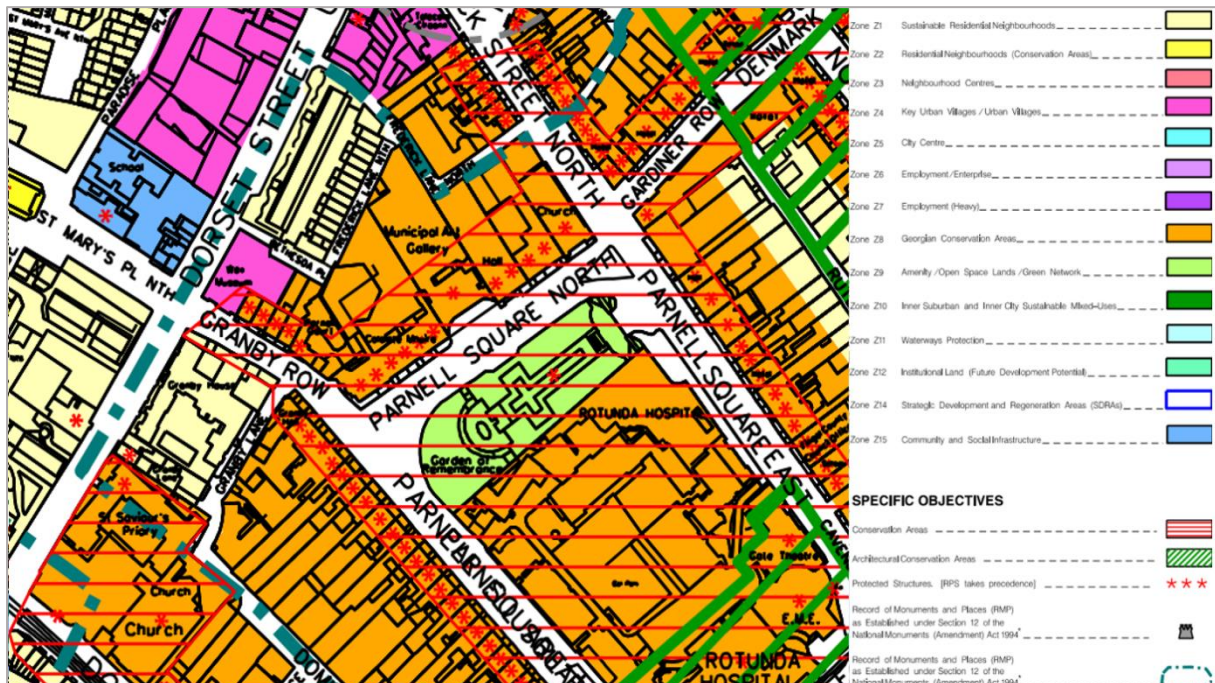


Figure 2: Extract of Map E – Zoning of the DCDP 2022-2028

2.1.2 Relevant Policies and Objectives:

Given the sensitivity and location of the site, the following policies and objectives must be adhered to;

- **SC2 City's Character:** To develop the city's character by:
 - cherishing and enhancing Dublin's renowned streets, civic spaces and squares;
 - developing a sustainable network of safe, clean, attractive streets, pedestrian routes and large pedestrian zones lanes and cycleways in order to make the city more coherent and navigable and creating further new streets as part of the public realm when the opportunities arise;
 - protecting the grain, scale and vitality of city streets and encouraging the development of appropriate and sustainable building heights to ensure efficient use of resources, services and public transport infrastructure and that protects the heritage and natural assets of the city;
 - revitalising the north and south Georgian squares and their environs and realising their residential potential;
 - upgrading Dame Street/College Green as part of the Grand Civic Spine;
 - promoting the development of Moore Street and the Parnell Quarter as major new cultural and historical attractions for the city.
- **SC22 Historical Architectural Character:** To promote understanding of the city's historical architectural character to facilitate new development which is in harmony with the city's historical spaces and structures.
- **BHA2 Development of Protected Structures:** That development will conserve and enhance protected structures and their curtilage and will:

(a) Ensure that any development proposals to protected structures, their curtilage and setting shall have regard to the Architectural Heritage Protection Guidelines for Planning Authorities (2011) published by the Department of Culture, Heritage and the Gaeltacht.

(b) Protect structures included on the RPS from any works that would negatively impact their special character and appearance.

(c) Ensure that works are carried out in line with best conservation practice as advised by a suitably qualified person with expertise in architectural conservation.

(d) Ensure that any development, modification, alteration, or extension affecting a protected structure and/or its setting is sensitively sited and designed, and is appropriate in terms of the proposed scale, mass, height, density, layout and materials.

(c) Ensure that the form and structural integrity of the protected structure is retained in any redevelopment and ensure that new development does not adversely impact the curtilage or the special character of the protected structure.

(d) Respect the historic fabric and the special interest of the interior, including its plan form, hierarchy of spaces, structure and architectural detail, fixtures and fittings and materials.

(e) Ensure that new and adapted uses are compatible with the architectural character and special interest(s) of the protected structure.

(f) Protect and retain important elements of built heritage including historic gardens, stone walls, entrance gates and piers and any other associated curtilage features.

(g) Ensure historic landscapes, gardens and trees (in good condition) associated with protected structures are protected from inappropriate development.

(h) Have regard to ecological considerations for example, protection of species such as bats.

[Misprint in DCDP with the double lettering]

- **BHA6 Buildings on Historic Maps:** That there will be a presumption against the demolition or substantial loss of any building or other structure which appears on historic maps up to and including the Ordnance Survey of Dublin City, 1847. A conservation report shall be submitted with the application and there will be a presumption against the demolition or substantial loss of the building or structure, unless demonstrated in the submitted conservation report this it has little or no special interest or merit having regard to the provisions of the Architectural Heritage Protection Guidelines for Planning Authorities (2011).
- **BHA9 Conservation Areas:** To protect the special interest and character of all Dublin's Conservation Areas – identified under Z8 and Z2 zoning objectives and denoted by red line conservation hatching on the zoning maps. Development within or affecting a Conservation Area must contribute positively to its character and distinctiveness and take opportunities to protect and enhance the character and appearance of the area and its setting, wherever possible. Enhancement opportunities may include:
 1. Replacement or improvement of any building, feature or element which detracts from the character of the area or its setting.
 2. Re-instatement of missing architectural detail or important features.
 3. Improvement of open spaces and the wider public realm and reinstatement of historic routes and characteristic plot patterns.
 4. Contemporary architecture of exceptional design quality, which is in harmony with the Conservation Area.
 5. The repair and retention of shop and pub fronts of architectural interest.
 6. Retention of buildings and features that contribute to the overall character and integrity of the Conservation Area.

7. The return of buildings to residential use.

Changes of use will be acceptable where in compliance with the zoning objectives and where they make a positive contribution to the character, function and appearance of the Conservation Area and its setting. The Council will consider the contribution of existing uses to the special interest of an area when assessing change of use applications and will promote compatible uses which ensure future long-term viability.

- **BHA11 Rehabilitation and Reuse of Existing Older Buildings:**

(a) To retain, where appropriate, and encourage the rehabilitation and suitable adaptive reuse of existing older buildings/structures/features which make a positive contribution to the character and appearance of the area and streetscape, in preference to their demolition and redevelopment.

(b) Encourage the retention and/or reinstatement of original fabric of our historic building stock such as windows, doors, roof coverings, shopfronts (including signage and associated features), pub fronts and other significant features.

(c) Ensure that appropriate materials are used to carry out any repairs to the historic fabric.

- **BHA24 Reuse and Refurbishment of Historic Buildings:** Dublin City Council will positively encourage and facilitate the careful refurbishment of the historic built environment for sustainable and economically viable uses and support the implementation of the National Policy on Architecture as it relates to historic buildings, streetscapes, towns and villages, by ensuring the delivery of high quality architecture and quality place-making, and by demonstrating best practice in the care and maintenance of historic properties in public ownership

- **CU2 Cultural Infrastructure:** To ensure the continued development of Dublin as a culturally vibrant, creative and diverse city with a broad range of cultural activities provided throughout the city, underpinned by quality cultural infrastructure.

- **CU9 Parnell Square and North Inner City Cultural Cluster:** To promote and support the growth of the Parnell Square and North Inner City cultural cluster to facilitate opportunities that provide benefits both to the wider City and to the economic growth and regeneration for the NEIC that supports artists, mitigates social exclusion and increases opportunities for expression and artistic engagement for the diverse local community and in particular, young people.

- **Objective CUO7 City Library:** To deliver a world class new City library and cultural resource centre at Parnell Square alongside a significant upgrade of the public realm of Parnell Square to provide an attractive and appropriate setting for the high number of cultural facilities on the Square.

All planning applications for development in Conservation Areas shall:

- Respect the existing setting and character of the surrounding area.
- Be cognisant and/ or complementary to the existing scale, building height and massing of the surrounding context.
- Protect the amenities of the surrounding properties and spaces.
- Provide for an assessment of the visual impact of the development in the surrounding context.
- Ensure materials and finishes are in keeping with the existing built environment.
- Positively contribute to the existing streetscape Retain historic trees also as these all add to the special character of an ACA, where they exist.

Chapter 12 – Culture of the Dublin City Development Plan identifies the key role that culture plays in defining us as a society and as a city. The Plan recognises the importance of encouraging and supporting the delivery of cultural infrastructure across the city to facilitate social cohesion, reduce isolation and create a sense of place for residents and visitors of Dublin City. Section 12.2 of the Plan

specifically calls out the success of the Hugh Lane Gallery in engaging the public in a range of ways including through hosting exhibitions, running educational programmes, events, and lectures.

The proposed development, which seeks to build on the existing consented scheme, is compliant with relevant local policy and which ensure the protection and enhancement of one of the City's cultural assets.

3.3 Draft Dublin City Strategic Heritage Plan 2023-2028

The Draft Strategic Heritage Plan for Dublin closed for public consultation in April 2023. The Plan aims to strike a balance between managing the changes required to adapt, reuse, and protect our rich protected and un-protected architectural heritage and its setting whilst retaining its authenticity, integrity, and special interest. Whilst the protection and preservation of historic buildings is very important, a balance must also be struck between preserving their character and appearance and facilitating their sensitive adaptation to cater for modern standards.

The proposed development will contribute to enhancing the Parnell Cultural Quarter by improving connectivity and movement between the Gallery and the New Library. The modifications to the Protected Structure have been carefully considered to ensure the sensitive adaptation of the building to facilitate this improved linkage. The proposed development is therefore compliant with the overarching vision of the Heritage Strategy for the city.

4.0 The Proposed Development

4.1 Description of the Proposed Development

Hugh Lane Gallery forms part of the Parnell Square Project. This project is preceded by Parnell Square Cultural Quarter (2013-2021) and Hugh Lane Gallery Works (2021). The project comprises redesign works to the Hugh Lane Gallery (as sought in this Part 8 amendment application), the new Dublin City Library (as part of a forthcoming S146B application to An Bord Pleanála) and restoration works to several Georgian Houses (22-28), all of which are Protected Structures which front onto Parnell Square North.

Both the applications made – Part 8 application for the Hugh Lane Gallery and the Part 10 application for the adjacent New City Library received planning permission from Dublin City Council (Reg. Ref. 3196/19) and An Bord Pleanála (ABP Ref. 302881) in 2019. In seeking to create a more integrated cultural block with direct connections between the Gallery and the Library it is proposed to carry out a series of amendments to the 2019 Part 8 Permission. This Part 8 Amendment application seeks to do this by facilitating a connection between the Gallery and City Library which will bring coherency to the cultural quarter as a single destination, enhance operational efficiencies, improve visitor access and footfall, and generally add to the viability and vibrancy of these major cultural assets. Many of the proposed amendments and upgrades are to facilitate the new link and will improve visitor movements/flows throughout the new connected complex.

Other key amendments proposed are the relocation of the Energy Centre from the Hugh Lane Gallery into the combined Energy Centre for the overall Parnell Cultural Quarter which will be located in the adjacent new City Library (and will feature as part of a forthcoming Section 146B Amendment Planning Application for the library). This will bring benefits in terms of the overall performance and sustainability of the Cultural Quarter representing an optimum and efficient use of resources. Other proposed works relate to M&E plant which require upgrade and / or replacement.

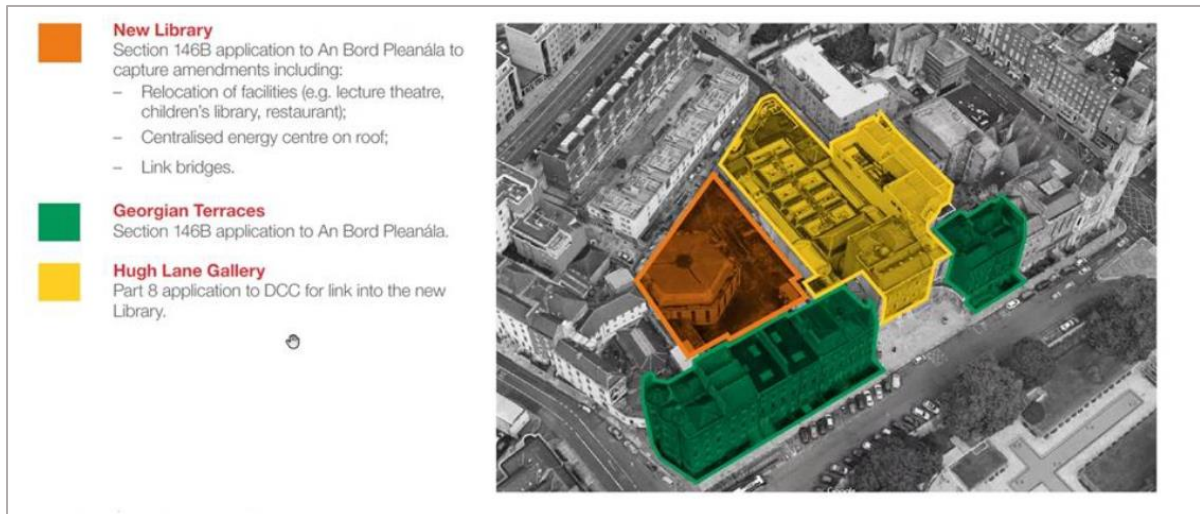


Figure 3 Planning and Development Strategy for the Subject Site and Environs (the Parnell Square Project)

4.2 Proposed Upgrades and Alterations

4.2.1 Overview

The proposal involves the connection of the Hugh Lane Gallery and City Library. The connection will be made through the section of the Hugh Lane Gallery that was constructed in the twentieth century and does not form part of the main galleries.

The connection will be in the area of the Gallery that presently houses the stained-glass exhibition space. The breakdown of the proposed amendments at each floor level has been detailed below. This should be read in conjunction with the Architectural Drawings submitted along with this application.

4.2.2 Basement Level

The proposed amendments to the existing permission at basement level involve:

- Removal of two no. windows previously facing the service alley to the south of the 1930's Wing above the basement and associated slab/wall removal to facilitate the extension of basement male and female bathrooms as shown below to meet WC provision requirements into basement service alley.
- Adapt ceilings of basement rooms below new link to accommodate new construction.

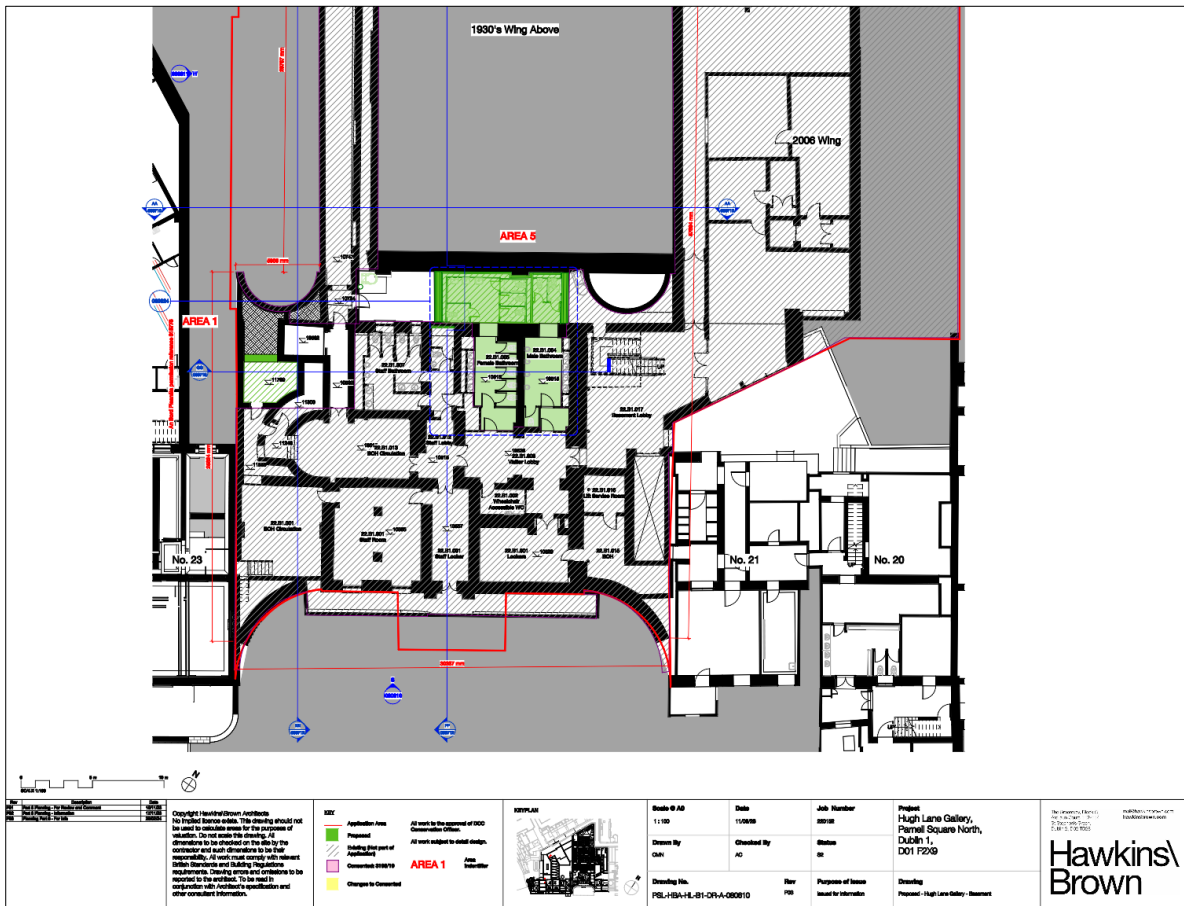


Figure 4 Extract from Proposed Basement Floor Plan (See Drawing No. PSL-HBA-HL-B1-DR-A-080610)

4.2.3 Ground Floor

The amendments at Ground Floor Level to the consented scheme to facilitate a new link connection between Hugh Lane Gallery and the New Library involve:

Demolition works, as follow: –

- Full removal of the Ground Floor Male Bathroom and existing Accessible WC, and associated constructions and services.
- Removal of Ground Floor Female toilets, internal partitions, and fittings only.
- Form opening connecting existing reception to lobby 5 in 2006 Wing to facilitate construction works and HLG remaining partially open during the works.
- Adapt existing doorway in Harry Clarke room to align with location of proposed new link doorway.
- Harry Clarke exhibition installations to be removed for relocation in future by DCC to purpose-built museum.
- New Library link requires partial removal of floor over basement rooms in this area and alterations to Harry Clark room window; extend opening floor level.

Proposed upgrades as follows: -

- Construction of a stone/reconstituted stone lined link connection with polished concrete floor finish and timber door set connecting former Harry Clark room (now referred to as Link Lobby) to new library.
- Install new Accessible WC and Unisex toilet in location of former female WCs. Provide services as required.
- Form new roof over staff lobby 2 space and relocate existing services to new roof level. All construction and plant to be lower than existing parapet height.
- Block up existing reception doorway to west, new access will be from Lobby 5.
- Making good to herringbone timber floor in Gallery 7 around existing 2 no. cast iron radiators.

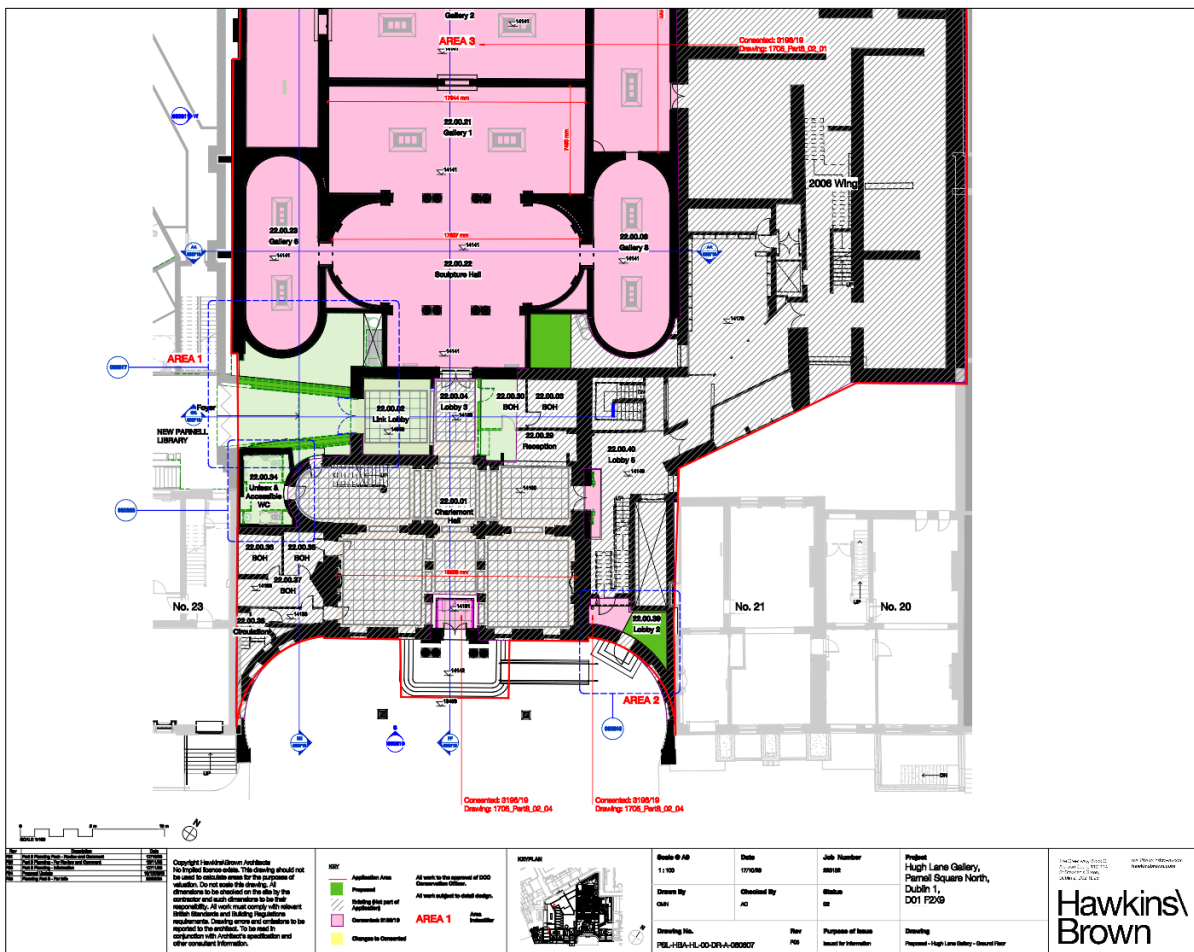


Figure 4 Extract from Proposed Ground Floor Plan (See Drawing No. PSL-HBA-HL-00-DR-A-080607)

4.2.4 Roof Level

Amendments at roof level involve:

- Replacement of existing plant over Francis Bacon wing with sound attenuation covers for reduced scale new plant provision.
- Alterations to structure of 1930s wing roof to facilitate any repairs to existing structure and / or reinforcement for new rooflights and ducting support, to be determined in upcoming opening up works (Q1 2024) and during the project.
- Repair and reinstatement of cast iron rainwater goods across 1930s wing roofs.

The roof level ductworks over the 1930s wing will be broadly as per previously approved scheme. The key change is that the main plant room has been relocated from over the Francis Bacon wing to the new library.

4.2.5 Elevations

The proposed alterations and upgrades are primarily confined to the interior of the building complex with minor works at roof level which will not be visible at street level, as shown in the series of elevations submitted with the application.

4.2.6 Energy Centre

In addition to the above, the proposal also includes the relocation of the consented plant and energy centre from the roof of Hugh Lane Gallery into a new combined Energy Centre for the overall Parnell Cultural Quarter to be located in the New Library.

The Energy Centre is a key component of the project and builds on the Climate Action Plan and the Government's commitment to reducing greenhouse gas emissions by 50% by 2030 and reaching net zero by 2050. Due to the site constraints of the Hugh Lane Gallery and the synergies with the other uses within the Parnell Cultural Quarter it is proposed to create a centralised Energy Centre within the demise of the New Library with relevant ducting to service the environmental improvements within the 1930's Wing and the Francis Bacon Studio.

4.3 Heritage

An **Architectural Heritage Impact Assessment** has been prepared by Carrig Conservation International Ltd and is enclosed as part of this application. The Report provides an assessment of the architectural heritage and historic environment impacts potentially arising from the proposed amendments to the consented scheme. The Report further details the built features of heritage significance in the environs of the area and outlines mitigation measures proposed to ensure the architectural heritage of the building is preserved.

The report sets out a comparison of approved (2019) and proposed works and includes an explanation of the justification for the proposed alterations.

The report concludes that the proposed amendments are '*generally minor in nature and will not represent a negative impact on the character and values of the protected structure. The removal of the large M+E plant room from the Francis Bacon Wing roof will represent a positive impact as it reduces the complexity of the construction project and the resulting potential harm to the gallery structures.*'

A range of measures are proposed to mitigate any adverse impacts of the proposed alterations and upgrades. With these in place, the Architectural Heritage Impact Assessment concludes '*it is considered that any negative impact arising from the new interventions will be outweighed by the significant public benefit of upgrading the gallery's services and facilitating a physical link between it and the new library.*'

4.4 Engineering

An **MEP Engineering Strategy**, prepared by AECOM, is enclosed as part of this application pack [attached as an addendum to the Architectural Heritage Impact Assessment prepared by Carrig Conservation International Limited (PSL-CRG-ZZ-ZZ-RP-X1-000011)]. The Strategy describes the Mechanical and Electrical Provision required to serve the development and sets out the proposed environmental control system, new gallery lighting, new fire alarm and security features.

4.5 Drainage and Watermains Planning Report

A **Drainage and Watermains Planning Report** has been prepared by AECOM detailing the existing and proposed drainage and watermain infrastructure for the proposed development and submitted as part of this application.

Surface Water Drainage:

The Report notes that based on the existing drainage records, there does not appear to be any existing surface water sewers located in the vicinity of the proposed development but there are existing combined sewers. Any existing surface water runoff, hence, discharges to the existing combined sewers network. The report in relation to surface water drainage concludes that the current proposals are not expected to have any impact on the existing surface water drainage of the Hugh Lane Gallery, and it is expected that this will continue to operate as normal upon completion of the proposals.

Foul Water Drainage:

The existing networks consist of combined sewers (as detailed under Sections 2 and 3 of the Drainage and Watermains Report). The Report submitted by AECOM notes that the existing toilet blocks within the basement of the existing Hugh Lane Gallery appear to be conveyed via an existing 150mm dia. gravity basement drainage network towards the existing brick arch sewer located within Parnell Square North (by gravity). The Report notes that the exact details of the existing basement drainage within the Hugh Lane Gallery basement are yet to confirmed, including invert levels and pipe gradients.

The proposed Foul Drainage from the proposed toilet block is currently proposed to connect to the existing Hugh Lane Gallery basement drainage network, which outfalls, by gravity to the existing Uisce Eireann combined sewer network located within Parnell Square North. The Report concludes that it is not currently expected that any external drainage will be required to be upgraded as part of the current proposals and that all new manholes within the proposed basement should be provided with triple hydraulically sealed manhole covers.

Water Supply:

The Report notes that several Irish Water watermains are situated in the vicinity of the development and that there is an existing water supply connection to the existing Hugh Lane Gallery. The Report in relation to watermains concludes that it is currently not envisaged that any external upgrades will be required to the existing Hugh Lane Gallery water supply, as a result of the current proposals. The internal water supply connections between the existing Hugh Lane Gallery potable water supply pipework, will be designed at detailed design stage by a Mechanical Engineer as part of the Mechanical Engineering works for the proposals.

AECOM, as noted in the Report, expect to submit a Pre-Connection Enquiry to Uisce Eireann for the proposal in parallel with this Part 8 Application, in relation to both, foul water drainage and water supply.

4.6 Noise

A **Technical Note** on the *Noise Impact of Building Services Plan to Hugh Lane Gallery Roof*, as prepared by AWN Consulting is enclosed with the planning application pack. The note seeks to review the noise impact of the new mechanical plant items to be located on the flat roof above the Francis Bacon Gallery, which lies to the rear (north) of the existing 1930s wing of the Gallery.

The findings indicate that once operational noise levels from plant noise emissions are controlled to the absolute noise limits outlined in this report, the noise impact will be acceptable.

Please refer to enclosed report for full details.

4.7 Appropriate Assessment

An update to the Appropriate Assessment (AA) Screening Report, previously prepared by DCC and submitted with the 2019 Part 8 Application, has been prepared by ALTEMAR and attached with this pack to be formally lodged as the Part 8 Amendments Application. The update to the AA Screening was made to capture a new SPA designation which has been made since the previous permission.

The Report presents a Stage 1 Appropriate Assessment Screening for the proposed development, outlining information required for the competent authority to screen for appropriate assessment and to determine whether the proposed development, either alone or in combination with other plans and projects, in the view of best scientific knowledge, is likely to have significant effect on any European site.

The Report for the purpose of this planning application notes that the development site is not within a European site and that the closest European site to the proposed development is the South Dublin Bay and River Tolka Estuary SPA which is approximately 2.3 km from the application site. The nearest waterbodies identified are the Royal Canal Main Line to the north and the River Liffey to the south, both of which lie approximately 850m from the subject site.

In that regard, the Report concludes that *“there is no direct hydrological connection from the proposed development site to any Natura 2000 site, and in the absence of mitigation measures, no significant effects on European sites are likely.”*

Following an analysis of development proposal proximate to the subject site, the Report also concludes that *“no projects in the vicinity of the proposed development would be seen to have a significant in combination effect on Natura 2000 sites.”*

Finally, the Report also concludes that there is no possibility of significant impacts on European sites, qualifying interests, or site-specific conservation objectives and hence, a Natural Impact Statement is not required.

4.8 Construction Management

An Outline Construction Management Plan (OCMP) prepared by ARUP was submitted and approved under the parent planning application. The amendments to the consented scheme proposed under the current application do not materially affect the contents of the OCMP as previously agreed. The construction of the proposed development is expected to take up to 18 months with works commencing in Q4 2024. It is envisaged that the gallery will have a complete closure to facilitate the implementation of these works.

5.0 Conclusion

The proposed alterations and upgrades to Hugh Lane Gallery brought forward in this Part 8 Application will bring positive impacts in terms of operational efficiencies, allow for careful repair and enhancement work, will contribute to a more integrated, connected cultural quarter on Parnell Square North, and will, with the recommended mitigation measures in place, ensure the integrity and character and values of the Protected Structure are safeguarded.

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