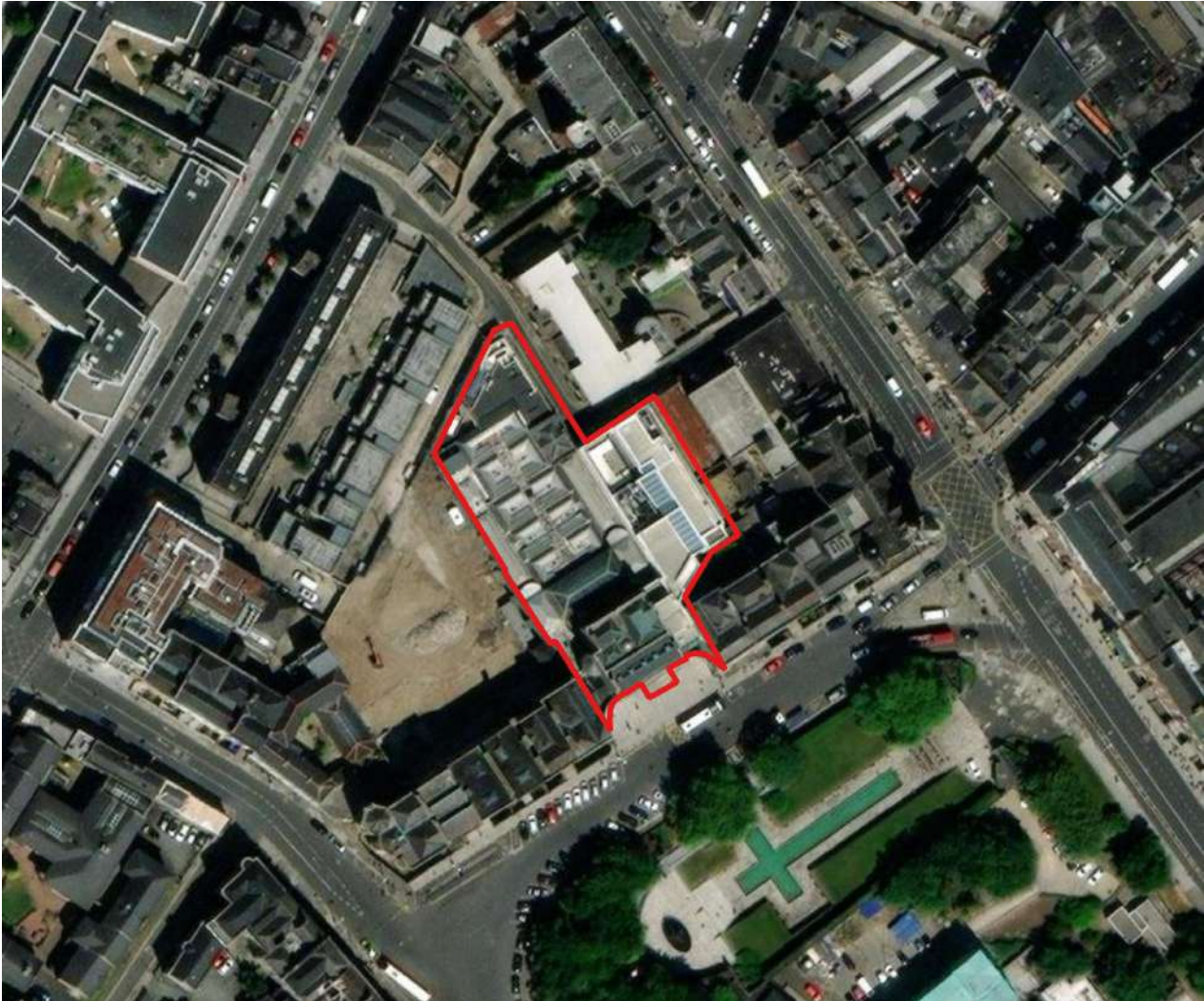


**Appropriate Assessment Screening for the Proposed Upgrade Works to
Dublin City Gallery - The Hugh Lane, Parnell Square North, Dublin 1.**



30TH NOVEMBER 2023

Prepared by: Bryan Deegan (MCIEEM) of Altemar Ltd.
On behalf of: Dublin City Gallery.

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Document Control Sheet			
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Introduction

An Appropriate Assessment is an assessment of the potential effects of a proposed project or plan, on its own, or in combination with other plans or projects, on one or more European sites (Special Areas of Conservation (SAC) or Special Protection Areas (SPA)).

The following Appropriate Assessment (AA) (Screening Stage) has been prepared by **Altemar Ltd.** at the request of Dublin City Gallery. The project relates to the proposed upgrade works to Dublin City Gallery - The Hugh Lane, Parnell Square, Dublin 1.

The AA Screening stage examines the likely significant effects of the proposed development, either on its own, or in combination with other plans and projects, upon a European site and considers whether, on the basis of objective scientific evidence, it can be concluded, in view of best scientific knowledge and the conservation objectives of the relevant European sites, that there are not likely to be significant effects on any European site.

Altemar Ltd.

Since its inception in 2001, Altemar has been delivering ecological and environmental services to a broad range of clients. Operational areas include residential, infrastructural, renewable, oil & gas, private industry, local authorities, EC projects and State/semi-State Departments. Bryan Deegan is the managing director of Altemar. Bryan is an environmental scientist and marine biologist with 28 years' experience working in Irish terrestrial and aquatic environments, providing services to the State, Semi-State and industry. Bryan Deegan (MCIEEM) holds a MSc in Environmental Science, BSc (Hons.) in Applied Marine Biology, NCEA National Diploma in Applied Aquatic Science and a NCEA National Certificate in Science (Aquaculture). Bryan Deegan carried out all elements of this Appropriate Assessment Screening.

Background to the Appropriate Assessment

The Habitats Directive 92/43/EEC (together with the Birds Directive (2009/1477/EC)) forms the cornerstone of Europe's nature conservation policy. The Directive protects over 1000 animals and plant species and over 200 "habitat types" which are of European importance. In the Habitats Directive, Articles 3 to 9 provide the legislative means to protect habitats and species of European Community interest through the establishment and conservation of an EU-wide network of conservation sites (NATURA, 2000). These are Special Areas of Conservation (SACs) designated under the Habitats Directive and Special Protection Areas (SPAs) designated under the Birds Directive), Article 6(3) and 6(4) of the Habitats Directive set out the decision-making tests for plans and projects likely to affect European sites (Annex 1.1). Article 6(3) establishes the requirement for Appropriate Assessment:

"Any plan or project not directly connected with or necessary to the management of the [EUROPEAN] site but likely to have a significant effect thereon, either individually or in combination with other plans and projects, shall be subjected to appropriate assessment of its implications for the site in view of the site's conservation objectives. In light of the conclusions of the assessment of the implication for the site and subject to the provisions of paragraph 4, the component national authorities shall agree to the plan or project only after having ascertained that it will not adversely affect the integrity of the site concerned and, if appropriate, after having obtained the opinion of the general public."

As outlined in "Managing European sites, The provisions of Article 6 of the 'Habitats' Directive 92/43/EEC" (European Commission, 21 November 2018) *"The purpose of the appropriate assessment is to assess the implications of the plan or project in respect of the site's conservation objectives, either individually or in combination with other plans or projects. The conclusions should enable the competent authorities to ascertain whether the plan or project will adversely affect the integrity of the site concerned. The focus of the appropriate assessment is therefore specifically on the species and/or the habitats for which the European site is designated."*

As outlined in the EC guidance document on Article 6(4) (January 2007)¹:

“Appropriate assessments of the implications of the plan or project for the site concerned must precede its approval and take into account the cumulative effects which result from the combination of that plan or project with other plans or projects in view of the site’s conservation objectives. This implies that all aspects of the plan or project which can, either individually or in combination with other plans or projects, affect those objectives must be identified in the light of the best scientific knowledge in the field.

Assessment procedures of plans or projects likely to affect European sites should guarantee full consideration of all elements contributing to the site integrity and to the overall coherence of the network, both in the definition of the baseline conditions and in the stages leading to identification of potential impacts, mitigation measures and residual impacts. These determine what has to be compensated, both in quality and quantity. Regardless of whether the provisions of Article 6(3) are delivered following existing environmental impact assessment procedures or other specific methods, it must be ensured that:

- *Article 6(3) assessment results allow full traceability of the decisions eventually made, including the selection of alternatives and any imperative reasons of overriding public interest.*
- *The assessment should include all elements contributing to the site’s integrity and to the overall coherence of the network as defined in the site’s conservation objectives and Standard Data Form, and be based on best available scientific knowledge in the field. The information required should be updated and could include the following issues:*
 - *Structure and function, and the respective role of the site’s ecological assets;*
 - *Area, representativity and conservation status of the priority and nonpriority habitats in the site;*
 - *Population size, degree of isolation, ecotype, genetic pool, age class structure, and conservation status of species under Annex II of the Habitats Directive or Annex I of the Birds Directive present in the site;*
 - *Role of the site within the biographical region and in the coherence of the European network; and,*
 - *Any other ecological assets and functions identified in the site.*
- *It should include a comprehensive identification of all the potential impacts of the plan or project likely to be significant on the site, taking into account cumulative impacts and other impacts likely to arise as a result of the combined action of the plan or project under assessment and other plans or projects.*
- *The assessment under Article 6(3) applies the best available techniques and methods, to estimate the extent of the effects of the plan or project on the biological integrity of the site(s) likely to be damaged.*
- *The assessment provides for the incorporation of the most effective mitigation measures into the plan or project concerned, in order to avoid, reduce or even cancel the negative impacts on the site.*
- *The characterisation of the biological integrity and the impact assessment should be based on the best possible indicators specific to the European assets which must also be useful to monitor the plan or project implementation.”*

¹ European Commission. (2007). Guidance document on Article 6(4) of the 'Habitats Directive' 92/43/EEC – Clarification of the concepts of: alternative solutions, imperative reasons of overriding public interest, compensatory measures, overall coherence, opinion of the commission;

Stages of the Appropriate Assessment

This Appropriate Assessment screening was undertaken in accordance with the European Commission Methodological Guidance on the provision of Article 6(3) and 6(4) of the 'Habitats' Directive 92/43/EEC (EC, 2001), Part XAB of the Planning and Development Act 2000, as amended, in addition to the December 2009 publication from the Department of Environment, Heritage and Local Government; 'Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities' and the European Communities (Birds and Natural Habitats) Regulations 2011. In order to comply with the above Guidelines and legislation, the Appropriate Assessment process must be structured as follows:

1) Screening stage:

- Description of plan or project, and local site or plan area characteristics;
- Identification of relevant European sites, and compilation of information on their qualifying interests and conservation objectives
- Identification and description of individual in combination effects likely to result from the proposed project;
- Assessment of the likely significance of the effects identified above. Exclusion of sites where it can be objectively concluded that there will be no likely significant effects; and,
Conclusions

2) Appropriate Assessment (Natura Impact Statement):

- Description of the European sites that will be considered further;
- Identification and description of potential adverse impacts on the conservation objectives of these sites likely to occur from the project or plan; and,
- Mitigation Measures that will be implemented to avoid, reduce or remedy any such potential adverse impacts
- Assessment as to whether, following the implementation of the proposed mitigation measures, it can be concluded, beyond all reasonable scientific doubt, that there will be no adverse impact on the integrity of the relevant European Site in light of its conservation objectives"
- Conclusions.

If it can be demonstrated during the AA screening phase (Stage 1), that the proposed project will not have a significant effect, whether alone or in combination with other plans or projects, on the conservation objectives of a European site, then no further AA (Stage 2) will be required. It is important to note that there is a requirement to apply a precautionary approach to AA screening. Therefore, where effects are possible, certain or unknown at the screening stage, AA will be required.

In addition, it should be noted that Article 6(3) of the Habitats Directive must be interpreted as meaning that, in order to determine whether it is necessary to carry out, subsequently, an AA of the implications, for a site concerned, of a plan or project, it is not appropriate, at the screening stage, to take account of the measures intended to avoid or reduce the harmful effects of the plan or project on that site.

Stage 1 Screening Assessment

Management of the Site

The project is not directly connected with, or necessary to, the management of European sites.

Description of the Proposed Project

The proposed alterations are to facilitate necessary upgrades and alterations to Dublin City Gallery, The Hugh Lane ('Hugh Lane Gallery'), a Protected Structure (RPS no. 6382). Dublin City Council has proposed the construction of a new link connecting the Hugh Lane Gallery and New Library, and the relocation of the Energy Centre for the Hugh Lane Gallery into the combined Energy Centre for the overall Parnell Cultural Quarter. At basement level this involves:

- removal of two no. windows previously facing the service alley to the south of the 1930's Wing above the basement and associated slab/wall removal to facilitate the extension of basement male and female bathrooms to meet WC provision requirements and adapt ceilings of basement rooms and adapt ceilings of basement rooms below new link to accommodate construction.

At ground floor level, demolition works are proposed to include:

- Full removal of the Ground Floor Male Bathroom and existing Accessible WC, and associated constructions and services.
- Removal of Ground Floor Female toilets, internal partitions tiling and fittings.
- Forming of opening into reception to lobby 5 of the 2006 Wing to facilitate construction works and HLG remaining partially open during the works.
- Adapt existing partition opening in Harry Clarke room to create one space between former Harry Clarke and Lobby 3.
- The removal and relocation of Harry Clarke exhibition (at a location to be agreed by DCC)
- New Library link requires partial removal of floor over basement rooms and alteration to Harry Clarke room window breaking down opening to floor level.
- The removal of door and associated opening into reception to allow for creation of a new reception opening.

Proposed alterations and upgrades include:

- Construction of a stone/reconstituted stone lined link connection with polished concrete
- floor finish and timber door set connecting former Harry Clarke room (now referred to as Link Lobby) to new library.
- Install new Accessible WC and Unisex toilet in location of former female WCs. Provide services as required.
- Form new roof over staff lobby 2 space and relocate existing services to new roof level. All construction and plant to be lower than existing parapet height.
- Create new door access from reception to lobby 5, new access will be from Lobby 5 and close off demolished door to lobby 3.
- The replacement of a door to the rear yard with a double external door to create a new lobby (Lobby 4)
- Making good to herringbone timber floor in Gallery 7 around existing 2 no. cast iron radiators.
- Adaption of existing Sculpture Hall rooflight to accommodate MEP ducting.

Amendments at roof level involve:

- Extension of consented roof over Lobby 2 space and relocate services to new roof level (with single ply roofing membrane), but lower than existing parapet height.
- The proposed upgrades to the roof involve the installation of new single ply roofing membrane above the proposed new link and a small section of the 1930s wing roof.
- Reduction of existing and consented plant area over Francis Bacon wing and replacement with new, reduced scale plant with new sound attenuation covers.
- Alterations to structure of 1930s wing roof to facilitate any repairs to existing structure and/or reinforcement for new rooflights and ducting support. Repair and reinstatement of cast iron rainwater goods across 1930s wing roofs. Roof level ductwork over 1930s wing will be broadly as per previously

approved scheme. The key change is that the main plant room has been relocated from over the Francis Bacon wing to the new library.

The proposed site outline, site location, site layout plan, and site architectural plans are demonstrated in Figures 1-11.

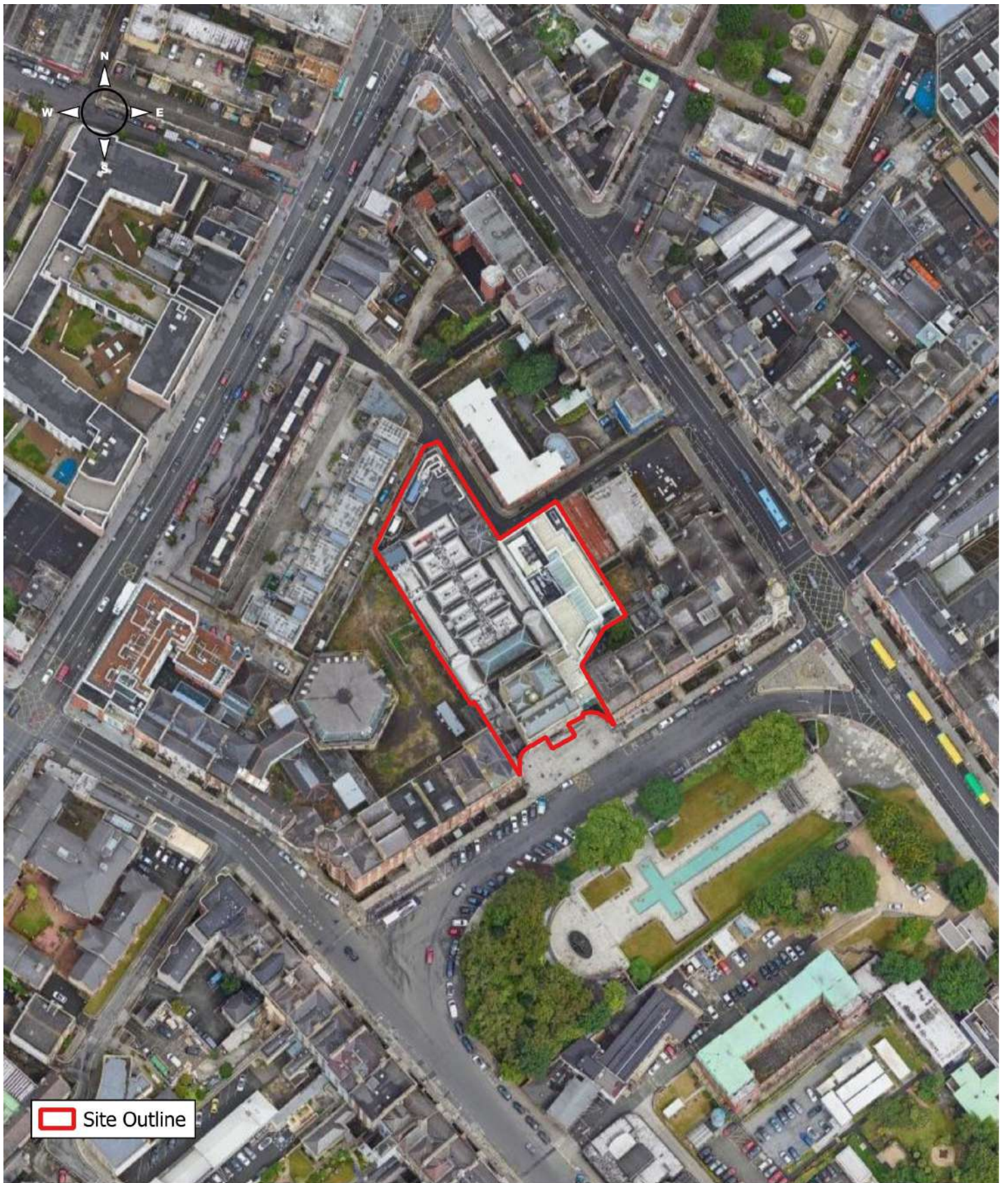
Drainage

A Drainage and Watermains Planning Report was prepared by ARUP in 2018 for the adjacent Dublin City Library Upgrade Project which outlines the drainage systems in place at Parnell Square North. It outlines the following in relation to existing drainage in this area:

'The existing drainage systems on the site are mainly combined foul and surface water drains. These drains discharge by gravity through existing drainage outfalls to the combined sewer on Parnell Square North.

There is an existing 2450 x 780mm combined sewer along Parnell Square North to the south of the site, a 300mm combined sewer on Bethesda Place and a 300mm combined sewer on Frederick Lane North both to the north of the site.'

Following consultation with AECOM, it was confirmed that foul and surface water drainage from the proposed development site will be drained by existing combined drainage infrastructure at Parnell Square North. This network ultimately outfalls to Ringsend WwTP, where wastewater is treated under license prior to discharge at Dublin Bay.



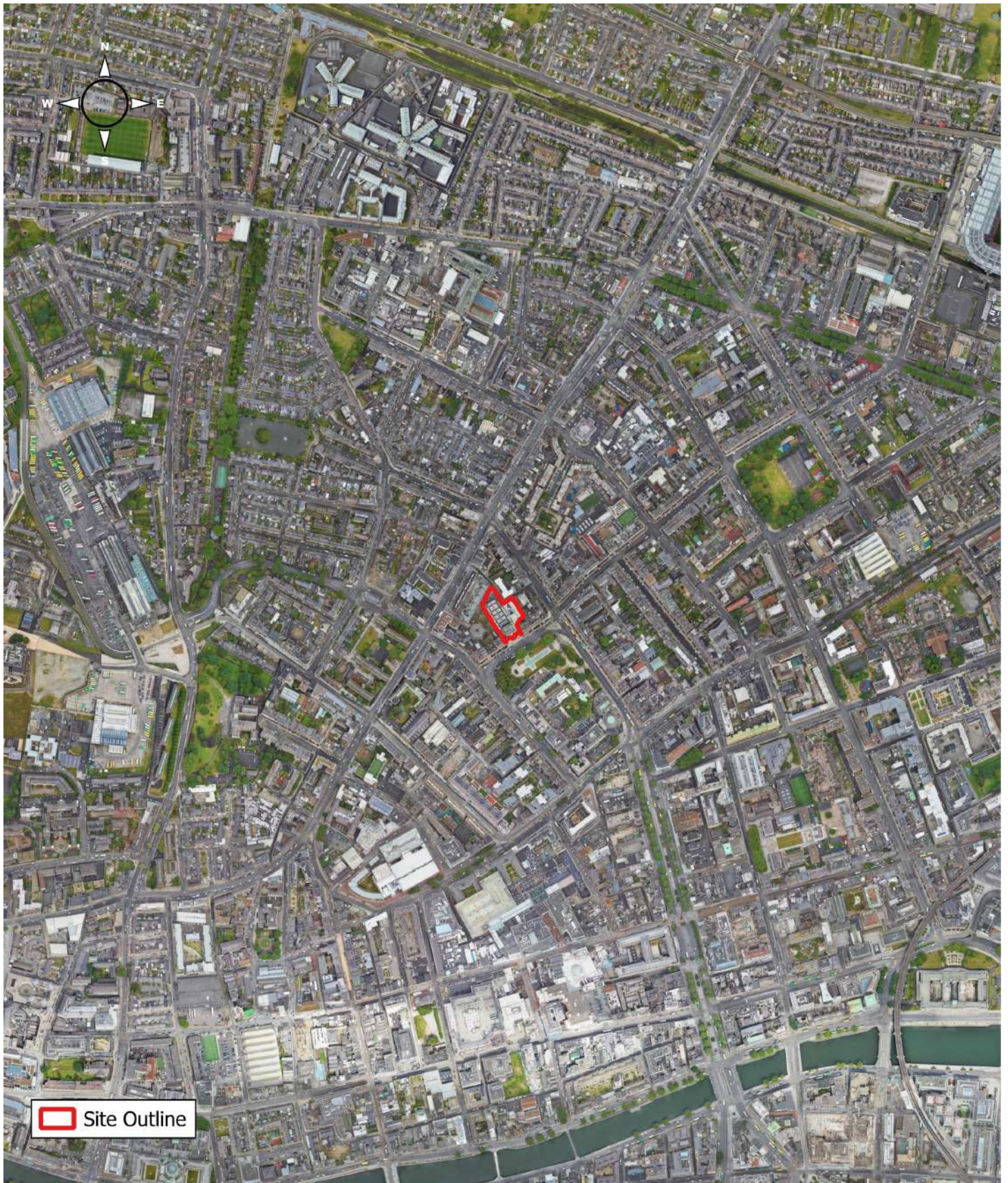
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Project: High Lane Gallery
 Location: Parnell Square N.
 Date: 28th November 2023
 Drawn By: Bryan Deegan (Altemar)

ALTEMAR
 Marine & Environmental Consultancy



Figure 1. Site outline

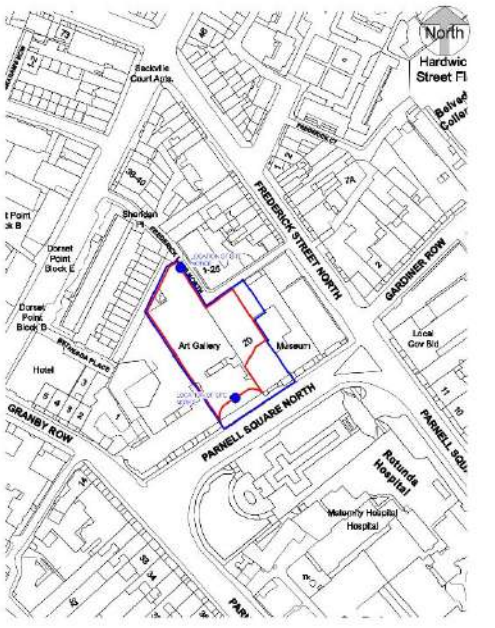


Project: Hugh Lane Gallery
 Location: Parnell Square N.
 Date: 28th November 2023
 Drawn By: Bryan Deegan (Altamar)

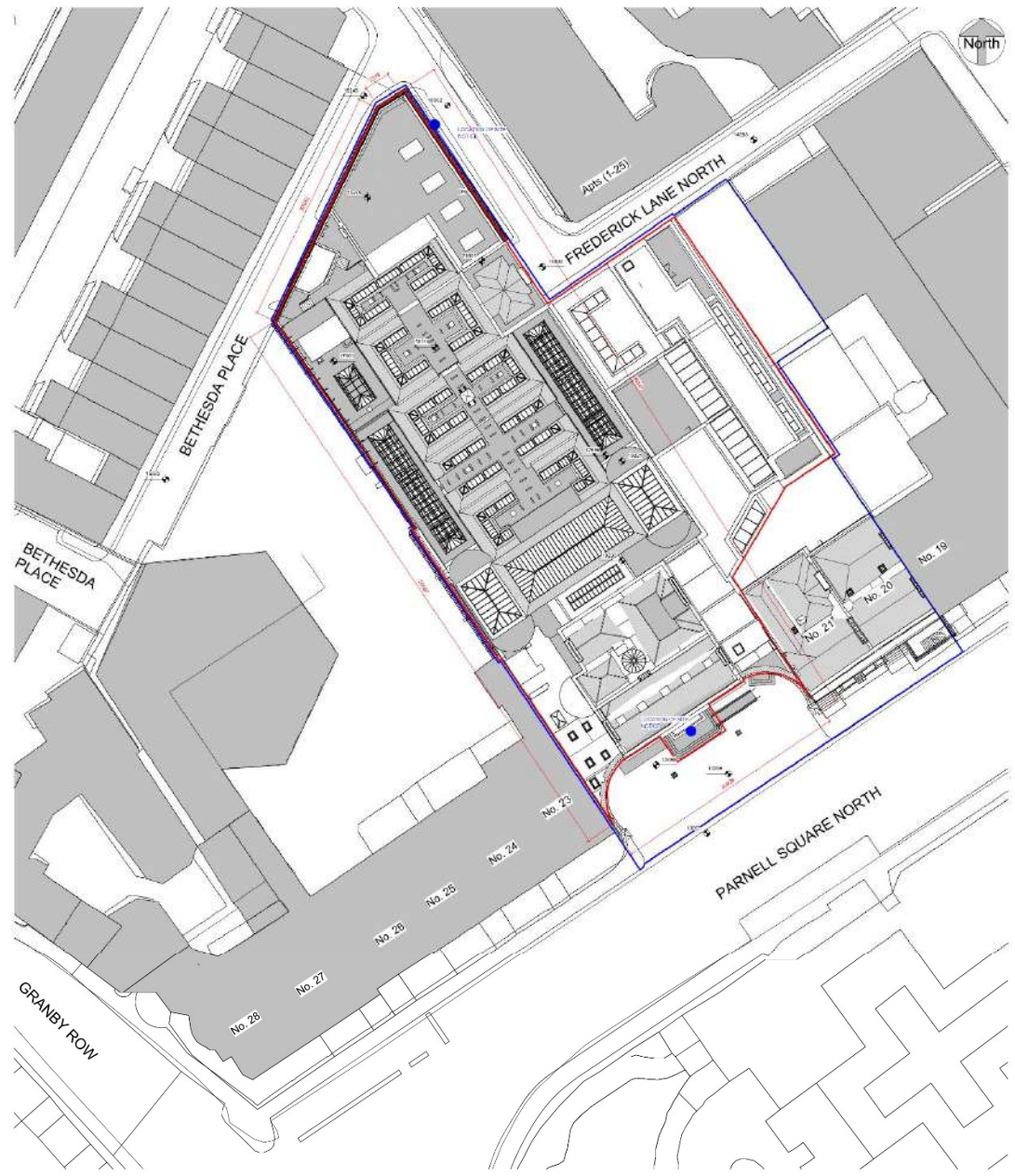
ALTEMAR
 Marine & Environmental Consultancy



Figure 2. Site location



1 Site Location Map
1:1000
Talis Elexon Map Order Number: 50327365.1



2 Site Layout Plan
1:200

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Author	2023
Check	23/10/23
Issue	23/10/23

KEY
 ● LOCATION OF SITE NOTICE
 — LANDS WITHIN APPLICANTS' OWNERSHIP
 — APPLICATION AREA

The Planning Process:
 1. Submission of Planning Application
 2. Review of Application
 3. Decision on Application
 4. Appeal (if necessary)

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Project
 Dublin City Gallery, The Hugh Lane
 20-22 Parnell Square North
 Rotunda,
 Dublin 1.

Drawing
 Hugh Lane Gallery - Site Location Plan
 (Site Notice Location)

Scale @ A0
 As indicated

Date
 17/10/23

Drawn By
 CM

Checked By
 PK

Job Number
 220152

Status
 S2

Purpose of Issue
 Issued for Information

Drawing No.
 PSL18A-14-ED-01A-001-1C

Rev
 P03

Figure 3. Site layout plan

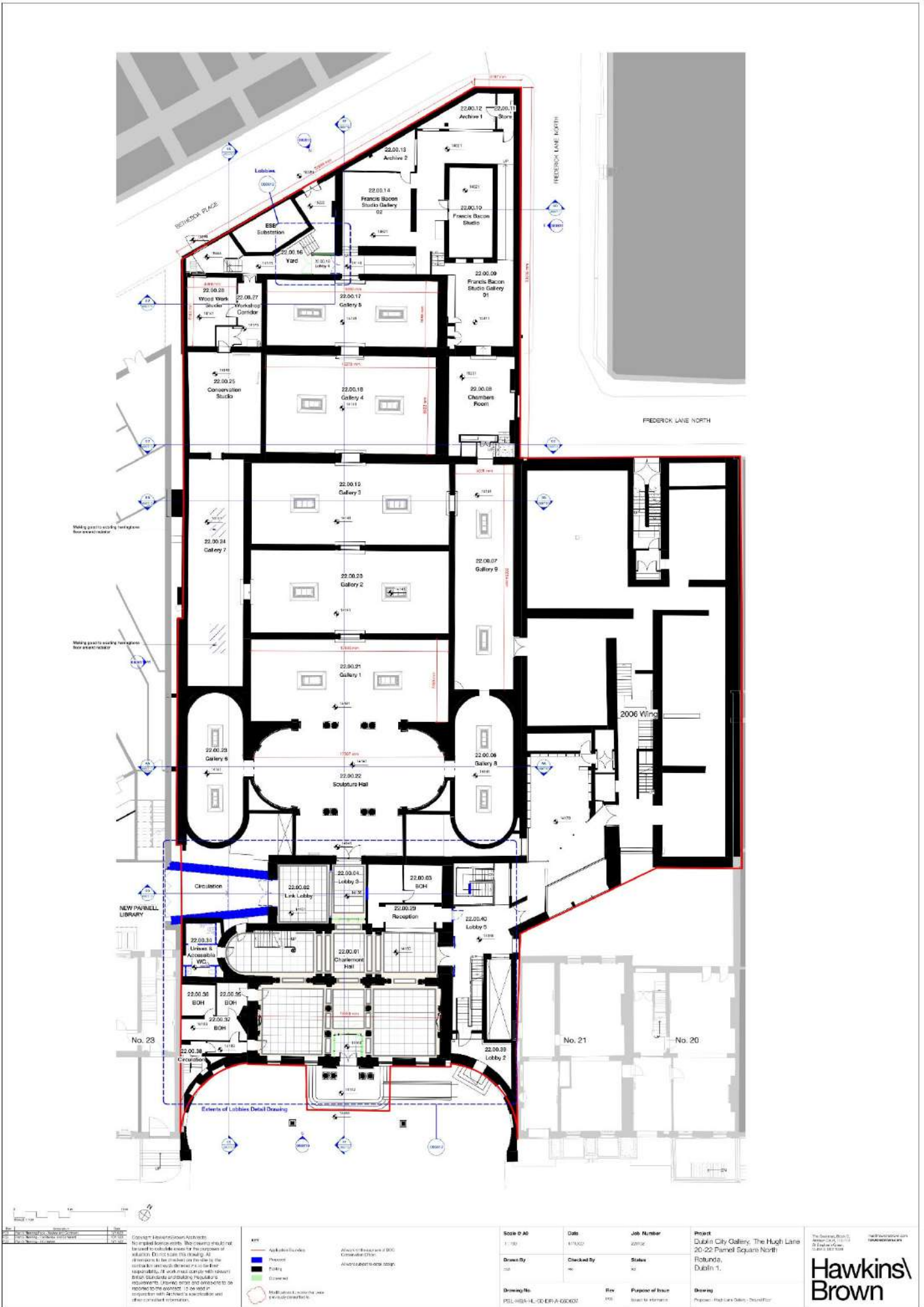
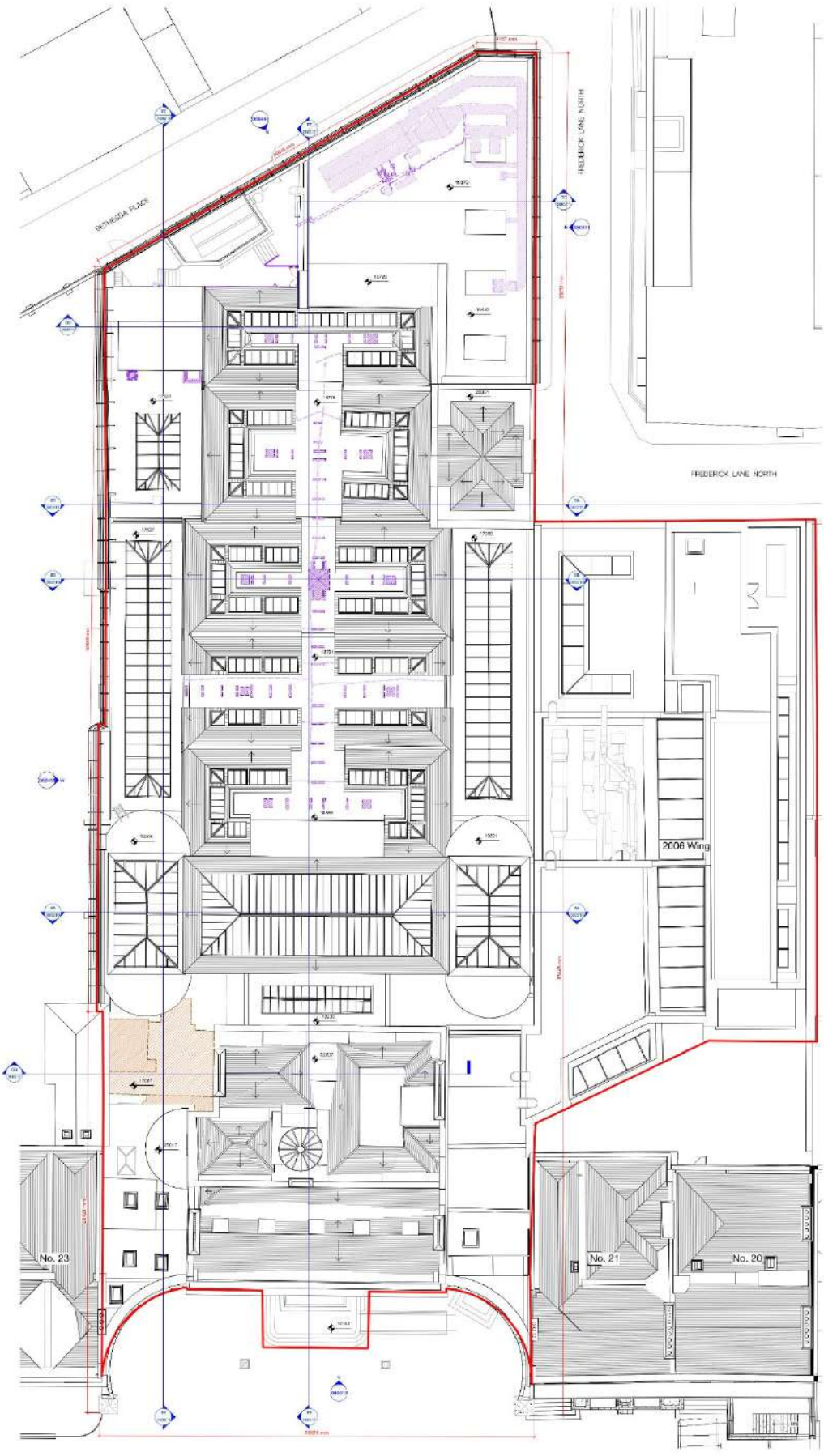


Figure 5. Proposed ground floor plan



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 No. 23

KEY	
	Application Area
	Consented Demotion
	Proposed Demotion
	Changes from previously consented

Scale 1/40	Date 17/03/20	Job Number 1000000000
Drawn By CH	Checked By IM	Status CH
Drawing No. PSL-HBA-HL-RF-CP-A-000000	Rev 002	Purpose of Issue Issue for tender

Project Dublin City Gallery, The Hugh Lane 20-22 Parnell Square North, Dublin 1		 Hawkins\Brown Architects 1000000000 Dublin 1, Ireland www.hawkinsbrown.com
Drawing Name: High Lane Gallery - Roof Plan		

Figure 6. Existing roof plan

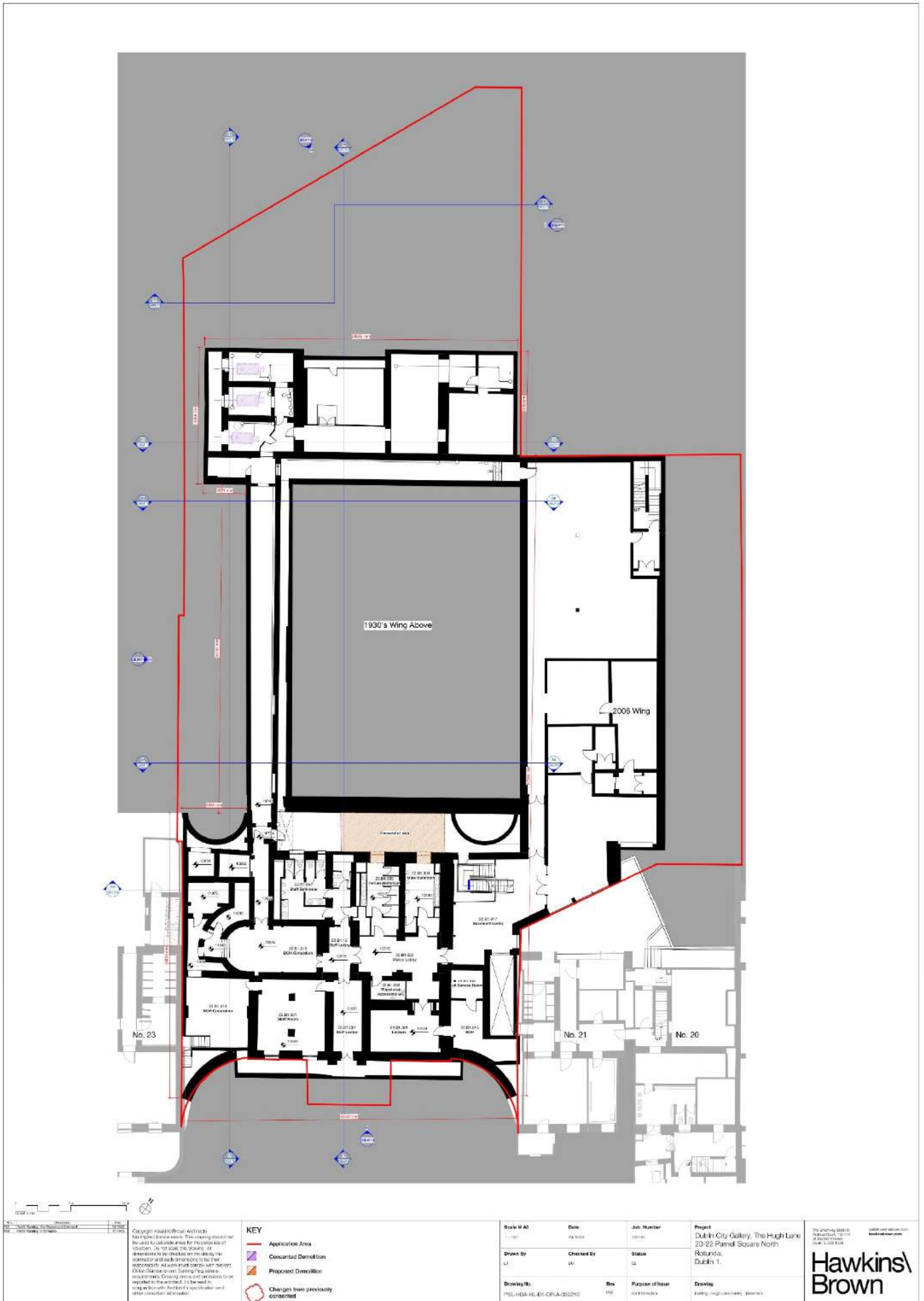
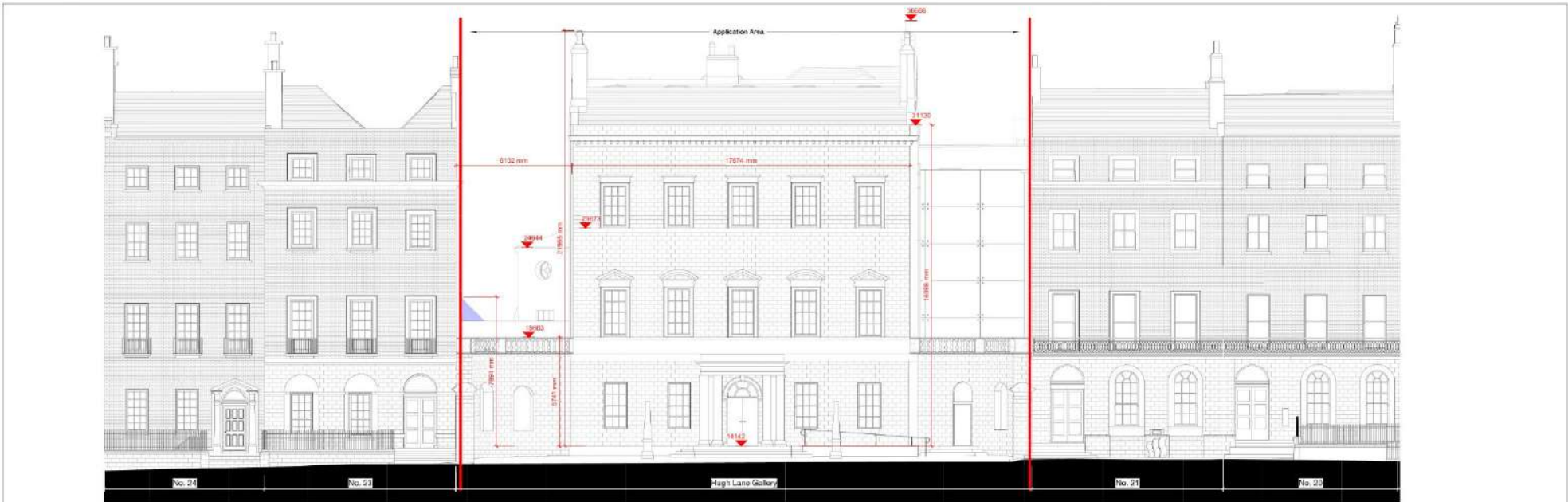


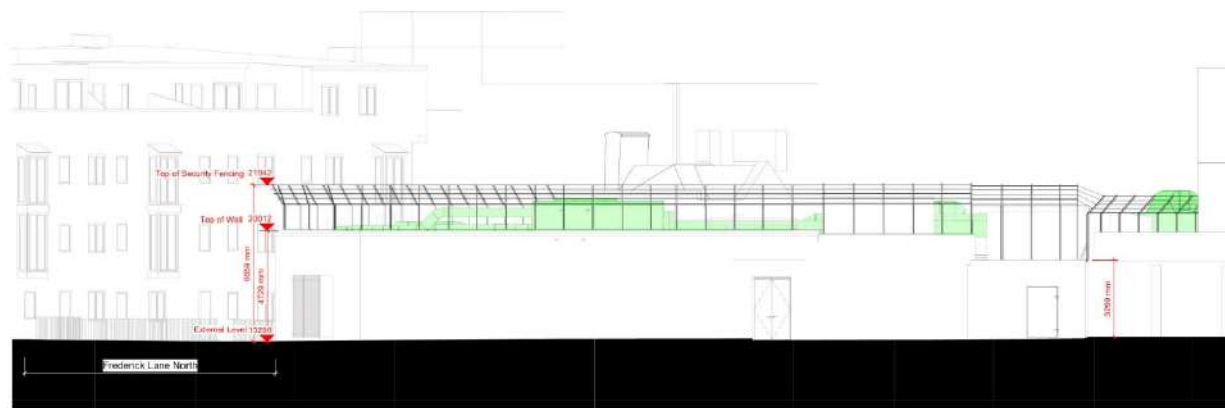
Figure 8. Existing basement



Figure 9. Proposed basement



Proposed - South Elevation
1 : 100

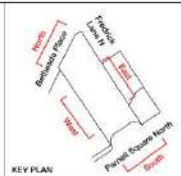


Proposed - North Elevation
1 : 100

Rev.	Description	Date
001	Part 5 Planning Pack - Review and Comment	17/11/23
002	Part 5 Planning - For Review and Comment	18/11/23
003	Part 5 Planning - Information	17/11/23

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- KEY**
- Application Area
 - Consented Works: new internal ERG / M+E ducting / conversion / roof covering
 - Consented Works: Rooflight glazing to be replaced with new glazed panels with integral frame system
 - Proposed: new internal fabric / conversion / roof covering
 - Changes from previously Consented



Scale @ A1 1 : 100	Date 17/11/23	Job Number 220152	Project Dublin City Gallery, The Hugh Lane 20-22 Parnell Square North Rotunda, Dublin 1.
Drawn By CM	Checked By RK	Status S2	The Drawing Book C Addition Date: 11/2/14 St. Stephen's Green, Dublin 2, D01 T058
Drawing No. PSL-HBA-HL-ZZ-DR-A-080810	Rev P03	Purpose of Issue Issued for Information	Drawing Proposed - Hugh Lane Gallery - North & South Elevation

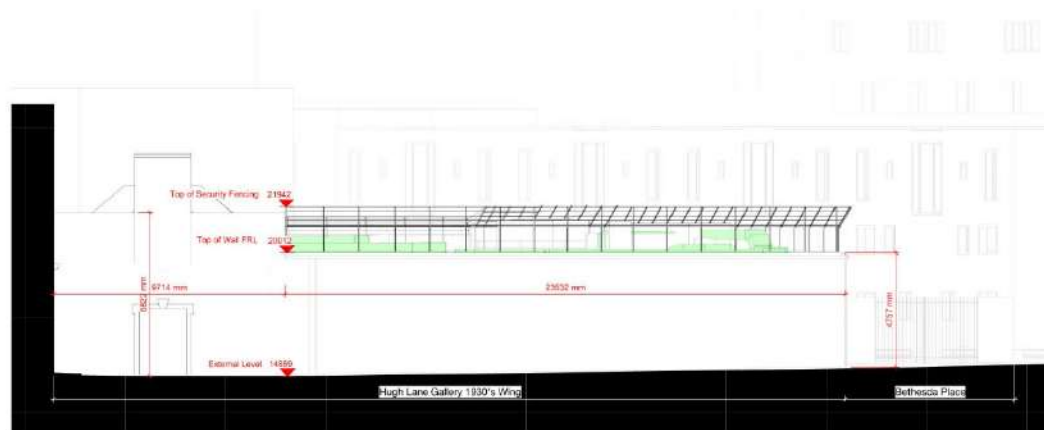
The Drawing Book C
 Addition Date: 11/2/14
 St. Stephen's Green,
 Dublin 2, D01 T058
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Figure 10. Proposed North & South Elevation



Proposed - West Elevation
1 : 100



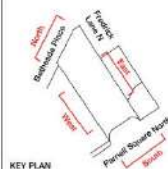
Proposed - East Elevation
1 : 100



Rev	Description	Date
01	Final Planning, Public Review and Consent	17/11/23
02	Final Planning, For Stake and Consent	16/11/23
03	Final Planning, Information	17/11/23

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KEY	Description
—	Application Area
 	Consented Works: new internal fabric / W/E cladding / construction / roof covering
 	Consented Works: Rooflight glazing to be replaced with new glazed panels with internal frame system
 	Proposed: new internal fabric / construction / roof covering
 	Changes from previously Consented



Scale @ A1	Date	Job Number	Project
1 : 100	17/11/23	220152	Dublin City Gallery, The Hugh Lane 20-22 Parnell Square North
Drawn By	Checked By	Status	Rotunda, Dublin 1.
CM	RK	S2	
Drawing No.	Rev	Purpose of Issue	Drawing
PSL-HBA-HL-ZZ-DR-A-080811	P03	Issued for Information	Proposed - Hugh Lane Gallery - East & West Elevation

The Drawing, Block C, Project Code: 110-114 St Stephen's Green, Dublin 2, D02 TD28	info@hbw.com hbw.com
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Figure 11. Proposed East & West Elevation

Identification of Relevant European Sites

The proposed development site is not within a European site. As outlined in Office of the Planning Regulator (2021) *“The zone of influence of a proposed development is the geographical area over which it could affect the receiving environment in a way that could have significant effects on the Qualifying Interests of a European site. This should be established on a case-by-case basis using the Source- Pathway-Receptor framework and not by arbitrary distances (such as 15 km).”*

A key factor in the consideration as to whether a particular European site is likely to be affected by the proposed development is its distance from the development location. It is generally, but not necessarily, the case that the greater the distance from the plan or project the smaller the likelihood of impacts. In this case, the nearest European site to the proposed development is South Dublin Bay and River Tolka Estuary SPA (2.3km). The nearest waterbodies are the Royal Canal Main Line to the north of the subject site, and the River Liffey to the south, both of which lie approximately 850m from the subject site. There is no hydrological connection to either of these waterbodies. The proposed development site consists of existing buildings within Dublin City Centre and is surrounded by a highly developed urban environment. The receiving environment is one in which there are no direct pathway to European sites. In those circumstances, the ZOI of the proposed project would be seen to be restricted to the site outline, with potential for minor localised noise and lighting impacts during construction which do not extend significantly beyond the site outline nor are they likely to have any significant effects on any European sites.

During construction and operational phases of the proposed project, surface and foul water drainage will discharge to the existing wastewater network via the existing combined sewers located within Parnell Square North. This network ultimately outfalls to Ringsend WwTP, where wastewater is treated under license prior to discharge at Dublin Bay. This treatment plant is operating within capacity and can adequately serve the proposed development².

Despite a lack of direct hydrological connection to European Sites, but in the interest of carrying out a thorough assessment in line with both the Habitats Directive, and the precautionary principle, the ZOI was expanded for this assessment to include designated sites within Dublin Bay. This was done in the interest of ensuring that any pathways, however indirect or remote, were considered. All Natura 2000 sites within 15km are listed in Table 1. The qualifying interests, and the potential impact of the development on each European site and qualifying interest, are screened out in Table 2. SPA's and SAC's within 15km are seen in Figures 12 & 13. Watercourses, SACs, and SPAs within 5 km are demonstrated in Figures 14-16. No potential impacts are foreseen on European sites beyond 15km as there is no direct or indirect pathways to these sites.

² https://www.water.ie/docs/aers/2022/D0034-01_2022_AER.pdf

Table 1. Natura 2000 sites within 15km of the subject site

Site Code	NATURA 2000 Site	Distance
Special Areas of Conservation		
IE000210	South Dublin Bay SAC	4 km
IE000206	North Dublin Bay SAC	5.4 km
IE000199	Baldoyle Bay SAC	9.9 km
IE000202	Howth Head SAC	11.2 km
IE003000	Rockabill to Dalkey Island SAC	11.5 km
IE000205	Malahide Estuary SAC	12.5 km
IE001209	Glenasmole Valley SAC	12.6 km
IE002122	Wicklow Mountains SAC	13 km
IE002193	Ireland's Eye SAC	14 km
IE001398	Rye Water Valley/Cartron SAC	15 km
Special Protection Areas		
IE004024	South Dublin Bay and River Tolka Estuary SPA	2.3 km
IE004006	North Bull Island SPA	5.5 km
IE004236	North-West Irish Sea SPA	7.6 km
IE004016	Baldoyle Bay SPA	10.3 km
IE000205	Malahide Estuary SPA	12.5 km
IE004040	Wicklow Mountains SPA	13 km
IE004113	Howth Head Coast SPA	13.9 km
IE004172	Dalkey Islands SPA	14 km
IE004117	Ireland's Eye SPA	14 km

Table 2. Initial screening of European sites with potential of hydrological pathway to the proposed development

European Site Code	Name	Screened IN/OUT	Details/Reason
Special Areas of Conservation			
IE000210	South Dublin Bay SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Mudflats and sandflats not covered by seawater at low tide [1140] Annual vegetation of drift lines [1210] Salicornia and other annuals colonising mud and sand [1310] Embryonic shifting dunes [2110]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 4 km from this SAC. There is no direct hydrological connection between the subject site and this SAC.</p> <p>There is an indirect hydrological pathway to this SAC via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SAC. The construction and operation of the proposed</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE000206	North Dublin Bay SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Mudflats and sandflats not covered by seawater at low tide [1140] Annual vegetation of drift lines [1210] Salicornia and other annuals colonising mud and sand [1310] Atlantic salt meadows (<i>Glauco-Puccinellietalia maritima</i>) [1330] Mediterranean salt meadows (<i>Juncetalia maritimi</i>) [1410] Embryonic shifting dunes [2110] Shifting dunes along the shoreline with <i>Ammophila arenaria</i> (white dunes) [2120] Fixed coastal dunes with herbaceous vegetation (grey dunes) [2130] Humid dune slacks [2190] Petalwort (<i>Petalophyllum ralfsii</i>) [1395]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 5.4 km from this SAC. There is no direct hydrological connection between the subject site and this SAC.</p> <p>There is an indirect hydrological pathway to this SAC via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE000202	Howth Head SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Vegetated sea cliffs of the Atlantic and Baltic coasts [1230] European dry heaths [4030]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 11.2 km from this SAC. There is no direct hydrological connection between the subject site and this SAC.</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>There is an indirect hydrological pathway to this SAC via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE003000	Rockabill to Dalkey Island SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Reefs [1170] Harbour Porpoise (<i>Phocoena phocoena</i>) [1351]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 11.5 km from this SAC. There is no direct hydrological connection between the subject site and this SAC.</p> <p>There is an indirect hydrological pathway to this SAC via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE000205	Malahide Estuary SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Mudflats and sandflats not covered by seawater at low tide [1140] Salicornia and other annuals colonising mud and sand [1310] Atlantic salt meadows (<i>Glauco-Puccinellietalia maritima</i>) [1330] Mediterranean salt meadows (<i>Juncetalia maritimi</i>) [1410] Shifting dunes along the shoreline with <i>Ammophila arenaria</i> (white dunes) [2120] Fixed coastal dunes with herbaceous vegetation (grey dunes) [2130]</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>Potential Impact The proposed development site is located within an urban environment approximately 12.5 km from this SAC. There is no direct or indirect hydrological connection between the subject site and this SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE001209	Glenasmole Valley SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Semi-Natural dry grasslands and scrubland facies on calcareous substrates (<i>Festuco-Brometalia</i>) (* important orchid sites) [6210] Molinia meadows on calcareous, peaty or clayey-silt-laden soils (<i>Molinia caerulea</i>) [6410] Petrifying springs with tufa formation (<i>Cratoneurion</i>) [7220]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 12.6 km from this SAC. There is no direct or indirect hydrological connection between the subject site and this SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE000199	Baldoyle Bay SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Mudflats and sandflats not covered by seawater at low tide [1140] Salicornia and other annuals colonising mud and sand [1310] Atlantic salt meadows (<i>Glauco-Puccinellietalia maritima</i>) [1330] Mediterranean salt meadows (<i>Juncetalia maritimi</i>) [1410]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 13 km from this SAC. There is no direct or indirect hydrological connection between the subject site and this SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE002122	Wicklow Mountains SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>Qualifying Interests Oligotrophic waters containing very few minerals of sandy plains (<i>Littorelletalia uniflorae</i>) [3110] Natural dystrophic lakes and ponds [3160] Northern Atlantic wet heaths with <i>Erica tetralix</i> [4010] European dry heaths [4030] Alpine and Boreal heaths [4060] Calaminarian grasslands of the <i>Violetalia calaminariae</i> [6130] Species-rich <i>Nardus</i> grasslands, on siliceous substrates in mountain areas (and submountain areas, in Continental Europe) [6230] Blanket bogs (* if active bog) [7130] Siliceous scree of the montane to snow levels (<i>Androsacetalia alpinae</i> and <i>Galeopsietalia ladani</i>) [8110] Calcareous rocky slopes with chasmophytic vegetation [8210] Siliceous rocky slopes with chasmophytic vegetation [8220] Old sessile oak woods with <i>Ilex</i> and <i>Blechnum</i> in the British Isles [91A0] Otter (<i>Lutra lutra</i>) [1355]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 13 km from this SAC. There is no direct or indirect hydrological connection between the subject site and this SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE002193	Ireland's Eye SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Perennial vegetation of stony banks [1220] Vegetated sea cliffs of the Atlantic and Baltic coasts [1230]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 14.1 km from this SAC. There is no direct or indirect hydrological connection between the subject site and this SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE001398	Rye Water Valley/Carton SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Petrifying springs with tufa formation (Cratoneurion) [7220] Vertigo angustior (Narrow-mouthed Whorl Snail) [1014]</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>Vertigo moulinsiana (Desmoulin's Whorl Snail) [1016]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 15 km from this SAC. There is no direct or indirect hydrological connection between the subject site and this SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
Special Protection Areas			
IE004024	South Dublin Bay and River Tolka Estuary SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Qualifying Interests Light-bellied Brent Goose (<i>Branta bernicla hrota</i>) [A046] Oystercatcher (<i>Haematopus ostralegus</i>) [A130] Ringed Plover (<i>Charadrius hiaticula</i>) [A137] Grey Plover (<i>Pluvialis squatarola</i>) [A141] Knot (<i>Calidris canutus</i>) [A143] Sanderling (<i>Calidris alba</i>) [A144] Dunlin (<i>Calidris alpina</i>) [A149] Bar-tailed Godwit (<i>Limosa lapponica</i>) [A157] Redshank (<i>Tringa totanus</i>) [A162] Black-headed Gull (<i>Chroicocephalus ridibundus</i>) [A179] Roseate Tern (<i>Sterna dougallii</i>) [A192] Common Tern (<i>Sterna hirundo</i>) [A193] Arctic Tern (<i>Sterna paradisaea</i>) [A194] Wetland and Waterbirds [A999]</p> <p>Potential Impact The proposed development is located 2.3 km from this SPA. There is no direct hydrological connection between the subject site and this SPA.</p> <p>There is an indirect hydrological pathway to this SPA via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>Given the minimum distance to this SPA (2.3 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SPA. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>

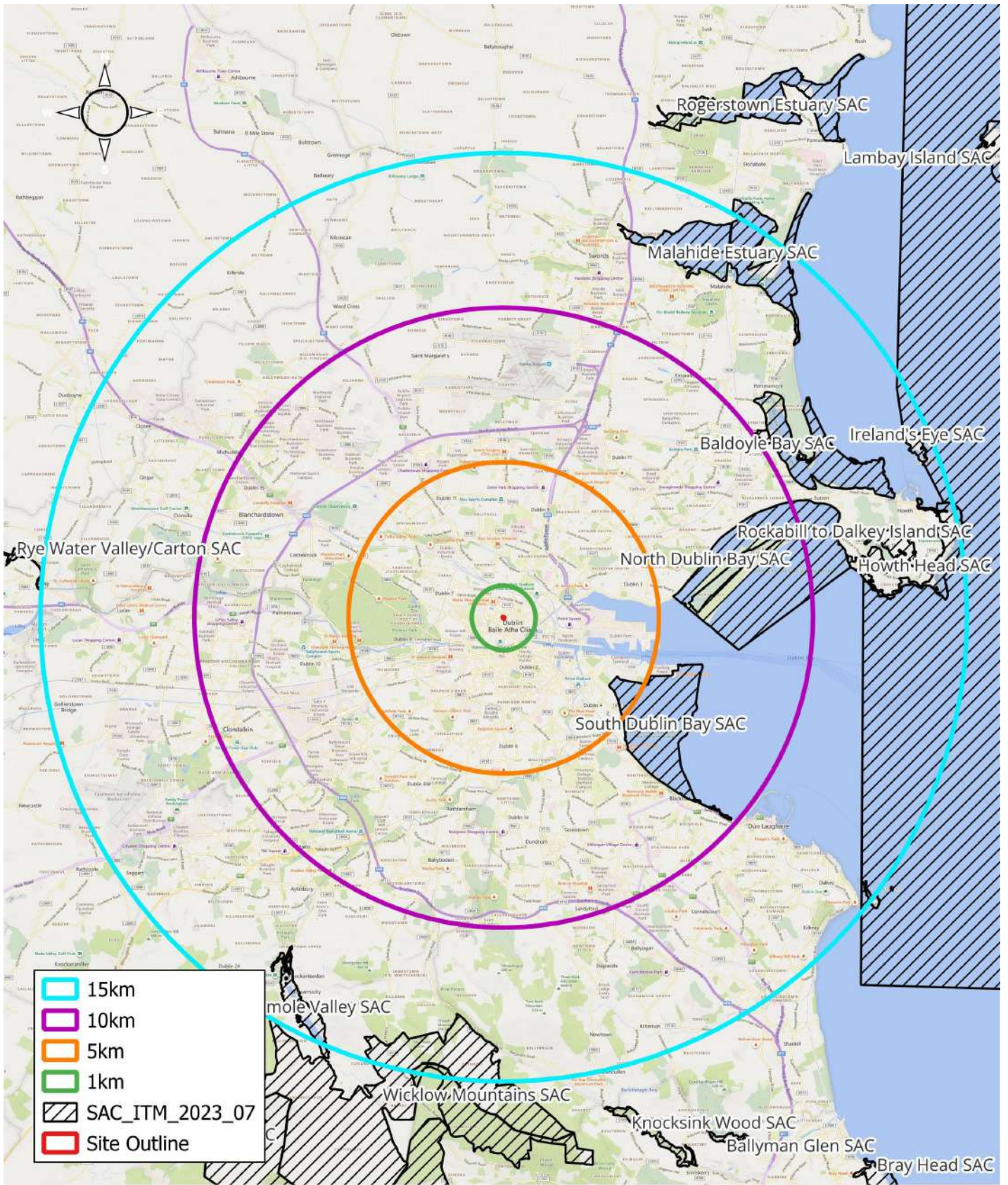
European Site Code	Name	Screened IN/OUT	Details/Reason
IE004006	North Bull Island SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Qualifying Interests Light-bellied Brent Goose (<i>Branta bernicla hrota</i>) [A046] Shelduck (<i>Tadorna tadorna</i>) [A048] Teal (<i>Anas crecca</i>) [A052] Pintail (<i>Anas acuta</i>) [A054] Shoveler (<i>Anas clypeata</i>) [A056] Oystercatcher (<i>Haematopus ostralegus</i>) [A130] Golden Plover (<i>Pluvialis apricaria</i>) [A140] Grey Plover (<i>Pluvialis squatarola</i>) [A141] Knot (<i>Calidris canutus</i>) [A143] Sanderling (<i>Calidris alba</i>) [A144] Dunlin (<i>Calidris alpina</i>) [A149] Black-tailed Godwit (<i>Limosa limosa</i>) [A156] Bar-tailed Godwit (<i>Limosa lapponica</i>) [A157] Curlew (<i>Numenius arquata</i>) [A160] Redshank (<i>Tringa totanus</i>) [A162] Turnstone (<i>Arenaria interpres</i>) [A169] Black-headed Gull (<i>Chroicocephalus ridibundus</i>) [A179] Wetland and Waterbirds [A999]</p> <p>Potential Impact The proposed development is located 5.5 km from this SPA. There is no direct hydrological connection between the subject site and this SPA.</p> <p>There is an indirect hydrological pathway to this SPA via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>Given the minimum distance to this SPA (5.5 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SPA. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE004236	North-West Irish Sea SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>Qualifying Interests Red-throated Diver (<i>Gavia stellata</i>) [A001] Great Northern Diver (<i>Gavia immer</i>) [A003] Fulmar (<i>Fulmarus glacialis</i>) [A009] Manx Shearwater (<i>Puffinus puffinus</i>) [A013] Cormorant (<i>Phalacrocorax carbo</i>) [A017] Shag (<i>Phalacrocorax aristotelis</i>) [A018] Common Scoter (<i>Melanitta nigra</i>) [A065] Little Gull (<i>Larus minutus</i>) [A177] Black-headed Gull (<i>Chroicocephalus ridibundus</i>) [A179] Common Gull (<i>Larus canus</i>) [A182] Lesser Black-backed Gull (<i>Larus fuscus</i>) [A183] Herring Gull (<i>Larus argentatus</i>) [A184] Great Black-backed Gull (<i>Larus marinus</i>) [A187] Kittiwake (<i>Rissa tridactyla</i>) [A188] Roseate Tern (<i>Sterna dougallii</i>) [A192] Common Tern (<i>Sterna hirundo</i>) [A193] Arctic Tern (<i>Sterna paradisaea</i>) [A194] Little Tern (<i>Sterna albifrons</i>) [A195] Guillemot (<i>Uria aalge</i>) [A199] Razorbill (<i>Alca torda</i>) [A200] Puffin (<i>Fratercula arctica</i>) [A204]</p> <p>Potential Impact The proposed development is located 7.6 km from this SPA. There is no direct hydrological connection between the subject site and this SPA.</p> <p>There is an indirect hydrological pathway to this SPA via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>Given the minimum distance to this SPA (7.6 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SPA. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE004016	Baldoyle Bay SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Qualifying Interests Light-bellied Brent Goose (<i>Branta bernicla hrota</i>) [A046] Shelduck (<i>Tadorna tadorna</i>) [A048]</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>Ringed Plover (<i>Charadrius hiaticula</i>) [A137] Golden Plover (<i>Pluvialis apricaria</i>) [A140] Grey Plover (<i>Pluvialis squatarola</i>) [A141] Bar-tailed Godwit (<i>Limosa lapponica</i>) [A157] Wetland and Waterbirds [A999]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 10.3 km from this SPA. There is no direct or indirect hydrological connection between the subject site and this SPA. Given the minimum distance to this SPA (10.3 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE000205	Malahide Estuary SPA	OUT	<p>Conservation Objectives The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Qualifying Interests Great Crested Grebe (<i>Podiceps cristatus</i>) [A005] Light-bellied Brent Goose (<i>Branta bernicla hrota</i>) [A046] Shelduck (<i>Tadorna tadorna</i>) [A048] Pintail (<i>Anas acuta</i>) [A054] Goldeneye (<i>Bucephala clangula</i>) [A067] Red-breasted Merganser (<i>Mergus serrator</i>) [A069] Oystercatcher (<i>Haematopus ostralegus</i>) [A130] Golden Plover (<i>Pluvialis apricaria</i>) [A140] Grey Plover (<i>Pluvialis squatarola</i>) [A141] Knot (<i>Calidris canutus</i>) [A143] Dunlin (<i>Calidris alpina</i>) [A149] Black-tailed Godwit (<i>Limosa limosa</i>) [A156] Bar-tailed Godwit (<i>Limosa lapponica</i>) [A157] Redshank (<i>Tringa totanus</i>) [A162] Wetland and Waterbirds [A999]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 12.5 km from this SPA. There is no direct or indirect hydrological connection between the subject site and this SPA. Given the minimum distance to this SPA (12.5 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE004040	Wicklow Mountains SPA	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the bird species listed as Special Conservation Interests for this SPA.</p> <p>Qualifying Interests</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>Merlin (<i>Falco columbarius</i>) [A098] Peregrine (<i>Falco peregrinus</i>) [A103]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 13 km from this SPA. There is no direct or indirect hydrological connection between the subject site and this SPA. Given the minimum distance to this SPA (13 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>
IE004113	Howth Head Coast SPA	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the bird species listed as Special Conservation Interests for this SPA.</p> <p>Qualifying Interests Kittiwake (<i>Rissa tridactyla</i>) [A188]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 13.9 km from this SPA. There is no direct hydrological connection between the subject site and this SPA.</p> <p>There is an indirect hydrological pathway to this SPA via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>Given the minimum distance to this SPA (13.9 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SPA. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE004172	Dalkey Islands SPA	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the bird species listed as Special Conservation Interests for this SPA.</p> <p>Qualifying Interests Roseate Tern (<i>Sterna dougallii</i>) [A192] Common Tern (<i>Sterna hirundo</i>) [A193] Arctic Tern (<i>Sterna paradisaea</i>) [A194]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 14 km from this SPA. There is no direct hydrological connection between the subject site and this SPA.</p>

European Site Code	Name	Screened IN/OUT	Details/Reason
			<p>There is an indirect hydrological pathway to this SPA via the proposed foul and surface water drainage strategy. Both foul wastewater and surface water drainage will be directed to an existing combined sewer on Parnell Square North, which in turn discharges to Ringsend WwTP for treatment. Any silt or pollutants will be treated along this public network.</p> <p>Given the minimum distance to this SPA (14 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen.</p> <p>No potential impact is foreseen. There is no direct pathway from this site to the SPA. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely.</p>
IE004117	Ireland's Eye SPA	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the bird species listed as Special Conservation Interests for this SPA.</p> <p>Qualifying Interests Cormorant (<i>Phalacrocorax carbo</i>) [A017] Herring Gull (<i>Larus argentatus</i>) [A184] Kittiwake (<i>Rissa tridactyla</i>) [A188] Guillemot (<i>Uria aalge</i>) [A199] Razorbill (<i>Alca torda</i>) [A200]</p> <p>Potential Impact The proposed development site is located within an urban environment approximately 14 km from this SPA. There is no direct or indirect hydrological connection between the subject site and this SPA. Given the minimum distance to this SPA (14 km), no noise or vibration impacts on the qualifying interests of this SPA are foreseen. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely.</p>

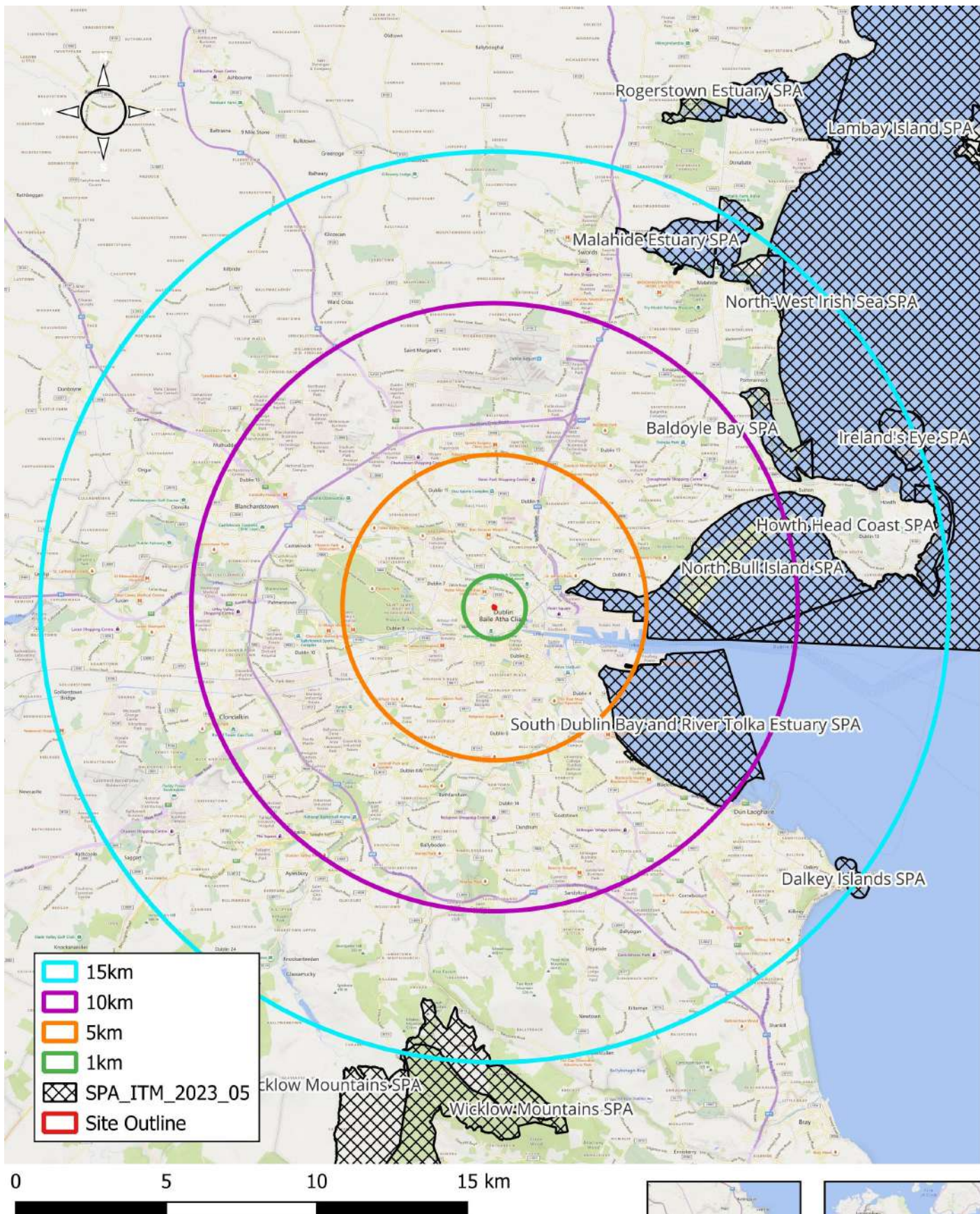


0 5 10 15 km

Project: High Lane Gallery
 Location: Parnell Square N.
 Date: 28th November 2023
 Drawn By: Bryan Deegan (Altamar)

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Figure 12. Special Areas of Conservation (SAC) within 15km of the proposed development



Project: Hugh Lane Gallery
 Location: Parnell Square N.
 Date: 28th November 2023
 Drawn By: Bryan Deegan (Altamar)

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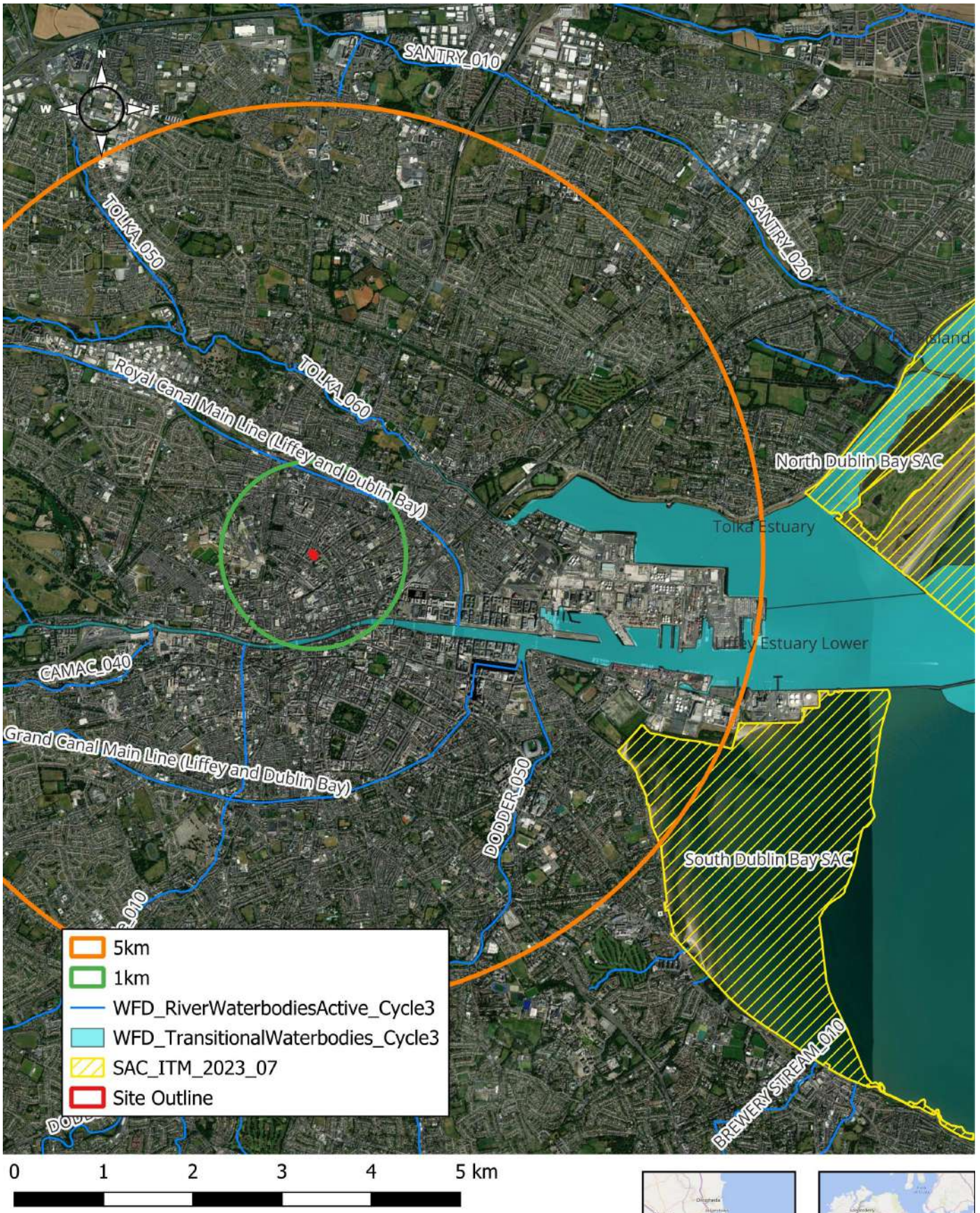
Figure 13. Special Protection Areas (SPA) within 15km of the proposed development



Project: Hugh Lane Gallery
 Location: Parnell Square N.
 Date: 28th November 2023
 Drawn By: Bryan Deegan (Altamar)



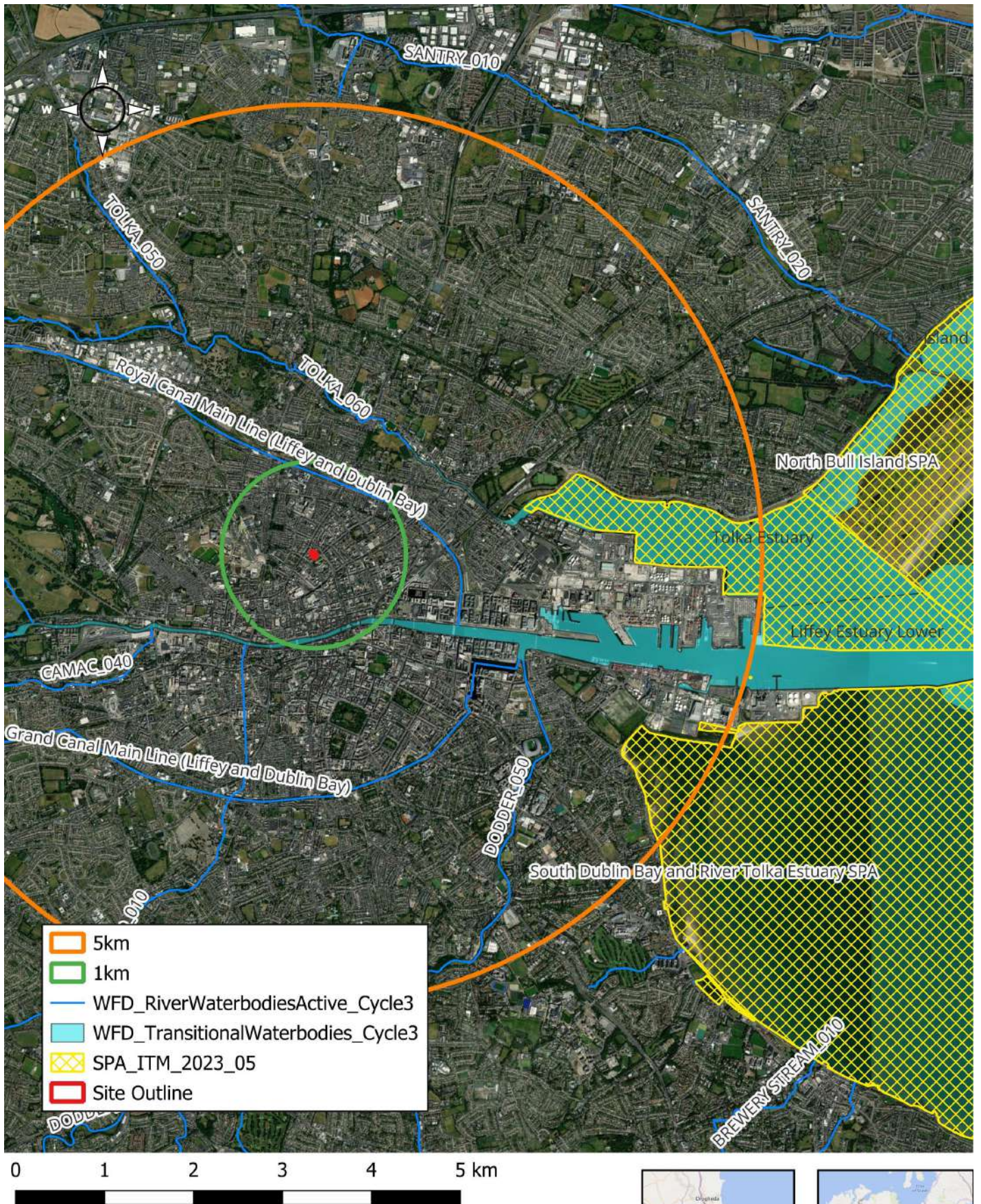
Figure 14. Waterbodies & watercourses proximate to the subject site



Project: Hugh Lane Gallery
 Location: Parnell Square N.
 Date: 28th November 2023
 Drawn By: Bryan Deegan (Altamar)



Figure 15. Waterbodies, watercourses, and SACs within 5km of the subject site



Project: Hugh Lane Gallery
 Location: Parnell Square N.
 Date: 28th November 2023
 Drawn By: Bryan Deegan (Altamar)



Figure 16. Waterbodies, watercourses and SPAs within 5km of the subject site

In-Combination Effects

There are several proposed developments located in the area immediately surrounding the subject site. The following is a list of planning applications (last five years) near the subject site as identified on the Department of Housing, Local Government and Heritage's 'National Planning Application Database' portal³;

Table 3. In-combination effects considered

Ref. No.	Address	Proposal
4288/22	34 North Frederick Street, Dublin 1	PROTECTED STRUCTURE: modifications to existing planning permission reg. ref. 4736/19 for development. The modifications will consist of: 1) changes of internal layout at first floor level, 2) replacement of existing roof timber structure, 3) An AOV (Automatic Opening Vent) system size 1140x1180mm, installed to the roof rear slope, connected to the fire detection and alarm system for fire safety improvement, 4) All other related works.
3442/21	Lower Ground Level of 28 Frederick Street North, Dublin 1	The development will consist of: • The change of use of the existing crèche at the lower ground level of 28 North Frederick Street North, Dublin 1, to a residential 2-bed apartment use; • The area of the existing crèche is 106msq, the area of the proposed residential 2-bed apartment is 106msq; • The works include internal demolitions of non-structural partitions and the installation of new internal partitions to reflect the required residential layout; • The works include remodelling of a retaining garden wall to the rear of the site to achieve a new tiered private garden space for the benefit of the proposed apartment unit.
4119/17	Frederick Court, 24-27, North Frederick Street, Dublin 1	Change of Use of Existing 6 Storey over Basement Office Building to Educational Use. Planning Permission is also sought for the following development works: 1) Removal of Existing Entrance doors and surround, the installation of new glazed double doors with fan light over to fit within the existing opening. 2) Installation of new zinc clad canopy over entrance 3275mm high above floor level. 3) The installation of new internally illuminated individual coloured acrylic faced lettering 150mm. 4) The installation of halo illuminated, individual lettering 150mm high mounted on to the face of the canopy. 5) Provision of 200 no. bicycle parking spaces in Basement Carpark leaving 13 existing car parking spaces remaining. 6) Alterations and widening to 2 no. rear exit doors at ground floor level.
4008/22	Ground Floor Retail Unit at 19A North Frederick Street/45 Dorset Street Upper, Dublin 1, D01 AW02.	The development will consist of: Change of use from existing pub to new retail convenience store to include a new off licence and deli area for the sale of hot food & intoxicating liquor for consumption off the premises.
2137/17	Maldron Hotel which is bounded by Granby Row, Dorset Street and Bethesda Place, and No's 3, 4 and 5 Granby Row, Dublin 1	The development will consist of 1) demolition of the existing rooftop (6th .floor) plant-room and its replacement with a new penthouse (6th) floor with 16 bedrooms; 2) the addition of a new floor (4th) and plant-room (5th) facing Bethesda Place; 3) the change of use of No's 3, 4 & 5 Granby Row from residential use to Hotel use; 4) the linking of No's 3, 4 & 5 Granby Row to the existing Hotel ; and 5) the infilling of the courtyard behind No's 4 & 5 Granby Row as a glass roofed lounge. No's 3, 4 & 5 Granby Row are protected structures.
4366/18	Rotunda Hospital, Parnell Square, Dublin 1	PROTECTED STRUCTURE: The proposed development consists of the construction of a single storey MV switchroom on Parnell Square East; and the construction of a single storey LV switchroom and transformer room building, external generator and fuel tank enclosure, and a single storey storage building in the Rotunda lower carpark. The proposed development is located within the Conservation Area and within the curtilage of the existing Rotunda Hospital, a Protected Structure (no's 6419 & 6420 on the Record of Protected Structures). The proposed development includes ancillary and associated works.
3053/19	30, Parnell Square West, Dublin 1	PROTECTED STRUCTURE: The development will consist of the following:- (a) Refurbishment of the Protected Structure building with works to facade onto

³ <https://housinggovie.maps.arcgis.com/apps/webappviewer/index.html?id=9cf2a09799d74d8e9316a3d3a4d3a8de>

Ref. No.	Address	Proposal
		<p>Parnell Square including repairs and repointing of brickwork, limestone front door surround, minor repairs, refurbishment and painting of ironwork to railings and balconies, doors and windows where necessary. The building will be refurbished internally to provide contemporary office space including installation of modern partitions, alterations to doors and windows; repair and repainting of ceilings and plasterwork. (b) Demolition of non-original mid 20th century 2 storey over basement extension (c. 79m²) and ancillary single storey outbuildings (c. 15m²) and the construction of a new extension (c. 54m²) over 3 floors comprising office space and toilet/kitchen/dining facilities with glazed link to original building on ground, first and second floor. Vehicular access/egress will remain via secure gate from Granby Lane to existing carpark and it is proposed to relocate 1 no. accessible space within existing car park. Permission is also sought for 10 covered bicycle spaces in existing car park, c. 35m² of pv panel space at roof level and all ancillary and associated site development works.</p>
2516/21	49-51, Parnell Square West, Dublin 1	<p>The development will consist of material alteration and change of use of the existing vacant basement units (permitted as medical consultancy/ office use under Reg. Ref: 4260/07) to residential to accommodate 3 no. apartments comprising 1 no. studio apartment (37 sqm), 1 no. one bedroom apartment (78 sqm), and 1 no. two-bedroom apartment (88 sqm) with individual external stair accesses from street level and internal access from existing stair/ left core at No. 50 Parnell Square West. Permission is also sought for all associated site and development works, including minor alterations to rear façade at basement level to provide an additional window.</p>
5126/22	<p>No. 43 (a Protected Structure), No. 44 (a Protected Structure), Nos. 45 – 49, Nos. 50 – 51 O’Connell Street Upper (a vacant site, Nos. 52 – 54 (a Protected Structure), Nos. 55 – 56, No. 57 (a Protected Structure), No. 58, (a Protected Structure) and No. 6</p>	<p>PROTECTED STRUCTURE: Dublin Central GP Limited Intends to apply for Permission for a period of 11 years at a site, 'Dublin Central - Site 2' (c. 1.33 Ha), at No. 43 (a Protected Structure), No. 44 (a Protected Structure), Nos. 45 - 49, Nos. 50 - 51 O’Connell Street Upper (a vacant site), Nos. 52 - 54 (a Protected Structure), Nos. 55 - 56, No. 57 (a Protected Structure), No. 58 (a Protected Structure) and No. 60A O’Connell Street Upper and the rear of Nos. 59 - 60 O’Connell Street Upper, Dublin 1. Also, the site includes No. 13 Moore Lane, No. 14 Moore Lane (otherwise known as Nos. 1 - 3 O’Rahilly Parade and Nos. 14 - 15 Moore Lane or Nos. 1 - 8 O’Rahilly Parade and Nos. 14 - 15 Moore Lane) and the public realm associated with O’Rahilly Parade, Moore Lane, Henry Place and a portion of O’Connell Street Upper, Dublin 1. The site is otherwise bound by Henry Place and Nos. 59 - 60 O’Connell Street Upper to the south, the east side of Moore Lane to the west and west side of O’Connell Street Upper to the east and No. 42 O’Connell Street Upper to the north. The proposed development comprises a mixed-use scheme (c. 38,479 sq. m gross floor area) ranging in height from 2 - 8 storeys over single level basements including a new street between O’Connell Street Upper and Moore Lane, a new controlled Laneway from Moore Lane (adjacent No. 42 O’Connell Street Upper - a Protected Structure). The proposed development accommodates: - 6no. units for use as a 'licensed restaurant / café units with takeaway / collection facility' at ground floor level (Unit 1 - c. 67 sq. m and Unit 2 - c. 244 sq. m on Moore Lane, Unit 3 - c. 178 sq. m and Unit 4 - c. 75sq. m on O’Connell Street Upper, Unit 5 - c. 58 sq. m on New Street and Unit 6 - c. 296 sq. m on Moore Lane and New Street; 1no. unit for use as a 'licensed restaurant / café unit with takeaway / collection facility' across basement, ground, 1st and 2nd floor (c. 878 sq. m) on O’Connell Street Upper; 8no. retail units, each for use as a 'shop' or 'licensed restaurant / café units with takeaway / collection facility' at ground floor level (Unit 1 - c. 1,041 sq. m on O’Connell Street Upper and Moore Lane, Unit 2 - c. 311 sq. m and Unit 3 - c. 260 sq. m on O’Connell Street Upper and New Street, Unit 4 - c. 452 sq. m on New Street, Unit 5 - c. 251 sq. m on Moore Lane, Unit 6 - c. 162 sq. m and Unit 7 - c. 58 sq. m on O’Connell Street Upper and Unit 8 - c. 40 sq. m on Moore Lane and new controlled Laneway); Temporary use of retail Unit 8 (c. 40 sq. m) as a delivery hub, pending the completion of same at Site 5 under DCC Reg. Ref. 2863/21; Office use (c. 33,714 sq. m) from 1st to 7th floor with access from O’Connell Street Upper, rear of No. 59 O’Connell Street upper</p>

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		<p>and new plaza on Henry Place and new controlled Laneway. Terraces proposed at 1st, 3rd, 4th, 6th and 7th floor; Refurbishment of the 'Reading Room' (rear of No. 59 O'Connell Street Upper, Dublin 1) as 'licensed restaurant / café unit with takeaway / collection facility' at ground floor level and ancillary café use at basement level (c. 244 sq. m in total). The single level basement comprises: - Access ramp from Moore Lane; 32no. car parking space; 372no. bicycle parking spaces with access to secure bicycle storage areas from the new plaza on Henry Place and the new controlled laneway from Moore Lane; Plant and waste storage areas; A structural box (120m length, 26m width, 34.5m depth) beneath the ground floor level that has been designed to accommodate the independent construction and operation of the planned O'Connell Street MetroLink Station by Transport Infrastructure Ireland, including provision of the structural envelope and co-ordinated voids to accommodate station entrances, ventilation and fire escape shafts through this part of the Dublin Central proposed development. These ensure that the Dublin Central proposed development is structurally independent of, and not prejudicial to, the MetroLink project. The MetroLink project will be the subject of a separate application for approval to be made by Transport Infrastructure Ireland. This part of the Dublin Central proposed development is referred to as the MetroLink Enabling Works; All associated and ancillary site development, conservation, demolition, landscaping and temporary works, including: - Conservation, repair, refurbishment and adaptive reuse of part of the existing building fabric, including: - Retention of part of the rear of No. 59 O'Connell Street Upper (known as the 'Reading Room') internal and external modifications and new shopfronts; Retention of the facades of Nos. 57 - 58 O'Connell Street Upper (Protected Structures); Retention of the facades of Nos. 52 - 54 O'Connell Street Upper (Carlton Cinema - Protected Structures) including the reinstatement of the canopies; Retention of the facades of Nos. 43 - 44 O'Connell Street Upper (Protected Structures); Retention of the facade of No. 45 O'Connell Street Upper; Works to include repair and upgrade works (where required) of retained masonry, external and internal joinery, plasterwork and features of significance; Conservation and repair of existing lightwells on O'Connell Street Upper; Demolition of all other existing buildings and structures on site (c. 22,521 sq. m) including No. 13 Moore Lane and No. 14 Moore Lane (otherwise known as Nos. 1 - 3 O'Rahilly Parade and Nos. 14 - 15 Moore Lane or Nos. 1 - 8 O'Rahilly Parade and Nos. 14 - 15 Moore Lane) to facilitate a temporary construction compound; Laying of services in Parnell Street westwards from Moore Lane for approximately 49 metres; Improvement works to the public realm on O'Rahilly Parade, Moore Lane and Henry Place, including the provision of a new entrance off O'Connell Street Upper for deliveries / emergency access. There are also adjustments and improvement works proposed at the junctions of Moore Street with Henry Place and with O'Rahilly Parade; Creation of a new street connecting O'Connell Street Upper with Moore Lane and provision of a new plaza at the junction of Moore Lane and Henry Place; 3no. telecommunication lattice towers which can accommodate 3no. 800mm antenna and 2no. 300mm microwave link dishes with associated equipment on the building rooftop in Site 2C; 2no. ESB substations; Building signage zones and retractable canopies. The application site is within the O'Connell Street Architectural Conservation Area. An Environmental Impact Assessment Report (EIAR) accompanies this application.</p>
3156/20	Hotel St. George, No. 7 Parnell Square East, Dublin 1 (D01E176)	<p>PERMISSION & RETENTION: PROTECTED STRUCTURE: The proposed development comprises the following: (i) Retention permission is sought for the removal of existing non-original partition walls, and the stripping of modern wall, ceiling and floor finishes at basement level; (ii) Permission is sought for internal alterations to the basement to provide five en-suite bedrooms including layout alterations and replacement of existing uPVC windows to the rear elevation (basement level only). The proposed works include the repair of historic fabric including the ground floor structure, the</p>

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		front and back masonry walls, the front windows and the staircase; (iii) The painting grey of the non-original render on the front façade; (iv) Replacement of non-original down pipes on front façade with cast iron pipes in original style; and (v) Drainage and all associated site development and ancillary works necessary to facilitate development.
4604/17	Delfin English School, No. 2 & 3, Parnell Square East, Dublin 1	PROTECTED STRUCTURE: No.2 and No.3 Parnell Square East are identified on the Record of Protected Structures (RPS) under Ref. Nos. 6367 and 6368 respectively and are bounded by Rutland Place to the east. The development consists of a new fire escape stairs to the rear of the building from ground to fourth floor, as per granted fire safety certificate (FSC2233/17). It also provides for permission to alter the existing external stairs from ground to basement level and all for internal modifications on all levels to accommodate the new stairs, this includes all associated building works and site works.
3651/21	Cassidys Hotel, Nos. 6,7 & 8 Cavendish Row and 9A Rutland Place, Dublin 1, D01 V3P6	PROTECTED STRUCTURE: Permission for the development at this site Cassidys Hotel, Nos. 6, 7, 8 Cavendish Row and No. 9A Rutland Place, Dublin 1, D01 V3P6. (No. 6 Cavendish Row is a Protected Structure, no works are proposed to No. 6 Cavendish Row). The development will consist of: a rear extension of 651.5 sqm across First to Fourth Floor Levels to accommodate 24 No. additional hotel bedrooms, above the existing car park access at ground level. The extended 143 no. bedroom hotel will have a total gross floor area of 6,076 sqm. The development will also consist of: alterations to the side and rear boundary including changes to the existing side gate onto Rutland Place; provision of signage (comprising 1 no. high level sign on the rear elevation and 2 no. low level illuminated signs on the side and rear elevations), external lighting, hard and soft landscaping including window boxes, and all site development works above and below ground.
4414/17	6/7, Granby Row, Rotunda, Dublin 1	RETENTION: Permission is sought for change of use from public house to a mixed use development comprising office accommodation of 118m2 and a single residential unit of 60m2.
2906/17	12/13, Dorset Street Upper, Dublin 1	PROTECTED STRUCTURE: Proposed alterations to approved development Reg.Ref. 4063/08, PL29N.232752 at Nos. 12 (Protected Structure record number 2330) & 13 Upper Dorset Street, Dublin 1. The application will comprise the change of approved medical consultant use at basement and ground floor level to proposed residential use consisting of 1 no. 2 bedroom apartment at basement/ lower ground floor and a 1 bedroom & 2 bedroom apartment at ground floor level (3 no. apartments in total), including open space to rear at lower ground floor level, balconies to rear at ground floor level and additional storage space at basement level. The application has a boundary with St. Saviours Priory which also is a Protected Structure (Record Number 2315).
2137/17	Maldron Hotel which is bounded by Granby Row, Dorset Street and Bethesda Place, and No's 3, 4 and 5 Granby Row, Dublin 1	The development will consist of 1) demolition of the existing rooftop (6th .floor) plant-room and its replacement with a new penthouse (6th) floor with 16 bedrooms; 2) the addition of a new floor (4th) and plant-room (5th) facing Bethesda Place; 3) the change of use of No's 3, 4 & 5 Granby Row from residential use to Hotel use; 4) the linking of No's 3, 4 & 5 Granby Row to the existing Hotel ; and 5) the infilling of the courtyard behind No's 4 & 5 Granby Row as a glass roofed lounge. No's 3, 4 & 5 Granby Row are protected structures.
3726/20	Dorset Point, 107, Dorset Street, Dublin 1, D01 F6F8	Planning permission for development at this circa 0.57 ha site located at the above address. The site is bounded on the east by Dorset Street Upper, to the north by Wellington Street Lower, on the west by Paradise Place and on the south by existing school and playground to rear of St. Mary's Place North. The proposed development will consist of the partial temporary use of Block B, Block C and Block D (92 bed spaces) of the existing development (total of 447 bed spaces) for visitor accommodation in the period between 1st February 2021 to 31st May 2022. After such times, the original condition 12 of Reg. Ref.: 2838/15 will apply. There are no proposed changes to the

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		student accommodation at Block A and Block E and the existing commercial units fronting Dorset Street. There are no physical changes proposed.
3358/20	Lands at the rear of 28, Frederick Street North, Dublin 1, D01 T2W5	Permission consequent on the grant of permission (Ref. No. 3653/18). The proposed amendments will consist of: 1. Internal modifications to each apartment on each level 2. External facade alterations including an increase in parapet height of c. 1m 3. Material alterations are proposed to the roof level plant area of the development, in comparison to that previously consented.
4488/22	34, North Frederick Street, Dublin 1	PROTECTED STRUCTURE: Modifications to existing planning permission Reg. Ref. 4736/19 for development at 34 North Frederick Street, Dublin 1. The modifications will consist of: -1) Replacement of existing roof timber structure- 2) An AOV (Automatic Opening Vent) system size 1140x1180mm, installed to the roof rear slope, connected to the fire detection and alarm system for fire safety improvement -3) All other related works.

Following an analysis of development proposals proximate to the subject site, it is considered that in combination effects with other existing and proposed developments in proximity to the application area would be unlikely, neutral, not significant and localised. It is concluded that no significant effects on Natura 2000 sites are likely as a result of the proposed development in combination with other projects. No in combination effects are foreseen.

No projects in the vicinity of the proposed development would be seen to have a significant in combination effect on Natura 2000 sites.

Conclusions

The proposed development site is located within an urban hardstanding environment. The closest European site is South Dublin Bay and River Tolka Estuary SPA (2.3km). The nearest waterbodies are the Royal Canal Main Line to the north of the subject site, and the River Liffey to the south, both of which lie approximately 850m from the subject site. There is no hydrological connection to either of these waterbodies.

During construction and operational phases of the proposed project, both surface and foul water drainage will discharge to the existing wastewater network via the existing combined sewers located within Parnell Square North. This network ultimately outfalls to Ringsend WwTP, where wastewater is treated under license prior to discharge at Dublin Bay. There is no direct hydrological connection to from the proposed development site to any Natura 2000 site. In the absence of mitigation measures, no significant effects on European sites are likely.

This report presents a Stage 1 Appropriate Assessment Screening for the Proposed Development, outlining the information required for the competent authority to screen for appropriate assessment and to determine whether the Proposed Development, either alone or in combination with other plans and projects, in view of best scientific knowledge, is likely to have a significant effect on any European or European site.

Based on the content of this report, the competent authority is enabled to conduct a Stage 1 Screening for Appropriate Assessment and consider whether, in view of best scientific knowledge and in view of the conservation objectives of the relevant European sites, the Proposed Development, individually or in combination with other plans or projects is likely to have a significant effect on any European site.

There is no possibility of significant impacts on European sites, qualifying interests, or site-specific conservation objectives. A Natura Impact Statement is not required.

Accordingly, having carried out the Stage 1 Appropriate Assessment Screening, the competent authority may determine that a Stage 2 Appropriate Assessment of the Proposed Development is not required as it can be excluded, on the basis of objective scientific information following screening under this Regulation 42 of the European Communities (Birds and Natural Habitats) Regulations 2011, as amended, that the Proposed Development, individually or in combination with other plans or projects, will have a significant effect on any European site.

Data Used for AA Screening

NPWS site synopses and Conservation objectives of sites within 15km were assessed. The most recent SAC and SPA boundary shapefiles were downloaded and overlaid on Bing Road maps and ERSI/Google satellite imagery.

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